

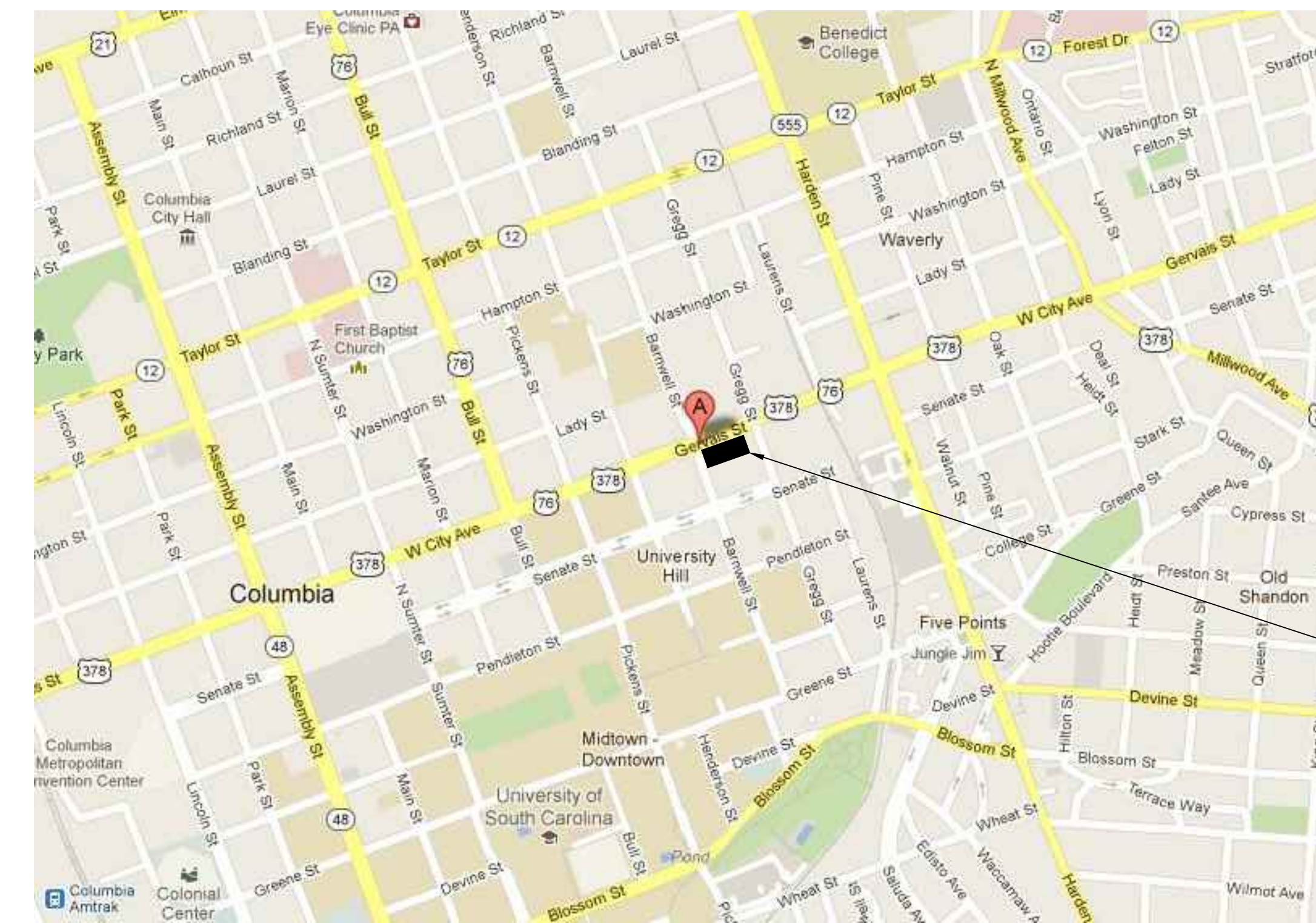


University of South Carolina

1800 Gervais Street Renovations - Construction - Phase II

Columbia, SC

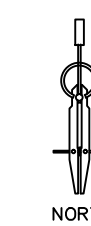
Project Number: H27-Z008-B



PROJECT LOCATION

LOCATION MAP

NO SCALE



ARCHITECT	
Compass 5 Partners, LLC 1329 State Street Cayce, South Carolina 29033 803-765-0838 p compass5partners.com	
SHEET No.	DESCRIPTION
G100	COVER SHEET & INDEX
G101	CODE SHEET & GENERAL NOTES
G102	LIFE SAFETY PLAN
AD100	DEMOLITION PLANS
A100	FLOOR PLANS
A200	CASEWORK AND DETAILS
A400	ENLARGED PLANS AND INTERIOR ELEVATIONS
A500	DOOR SCHEDULE AND DETAILS
A501	FINISH SCHEDULE
A600	REFLECTED CEILING PLAN

MECHANICAL ENGINEER	
Swygert & Associates 1315 State Street Cayce, South Carolina 29033 803-791-9300 office	
SHEET No.	DESCRIPTION
P100	FLOOR PLAN, NOTES, SCHEDULE, AND LEGEND
MD100	DEMOLITION PLANS
M100	FLOOR PLANS
M200	DETAILS, NOTES, SCHEDULES, AND LEGEND

ELECTRICAL ENGINEER	
Belka Engineering 7 Clusters Court # 201 Columbia, South Carolina 29210 803-731-0650 office	
SHEET No.	DESCRIPTION
E0.1	ELECTRICAL SYMBOLS, LEGEND, AND SCHEDULES
E1.1	LIGHTING DEMOLITION PLANS
E1.2	POWER/SYSTEMS DEMOLITION PLANS
E2.1	LIGHTING RENOVATION PLANS
E2.2	POWER RENOVATION PLANS
E2.3	SYSTEMS RENOVATION PLANS
E3.1	SYSTEMS SINGLE LINE DIAGRAM

Compass 5 Partners, LLC
1329 State Street Cayce, SC 29033
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STATE OF SOUTH CAROLINA
COMPASS 5 PARTNERS, LLC
Columbia, SC
C-100254
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
MARVELLYN CANNIZZARO
Columbia, SC
6796
REGISTERED ARCHITECT

University of South Carolina

1800 Gervais Street Renovations - Construction - Phase II
Columbia, SC

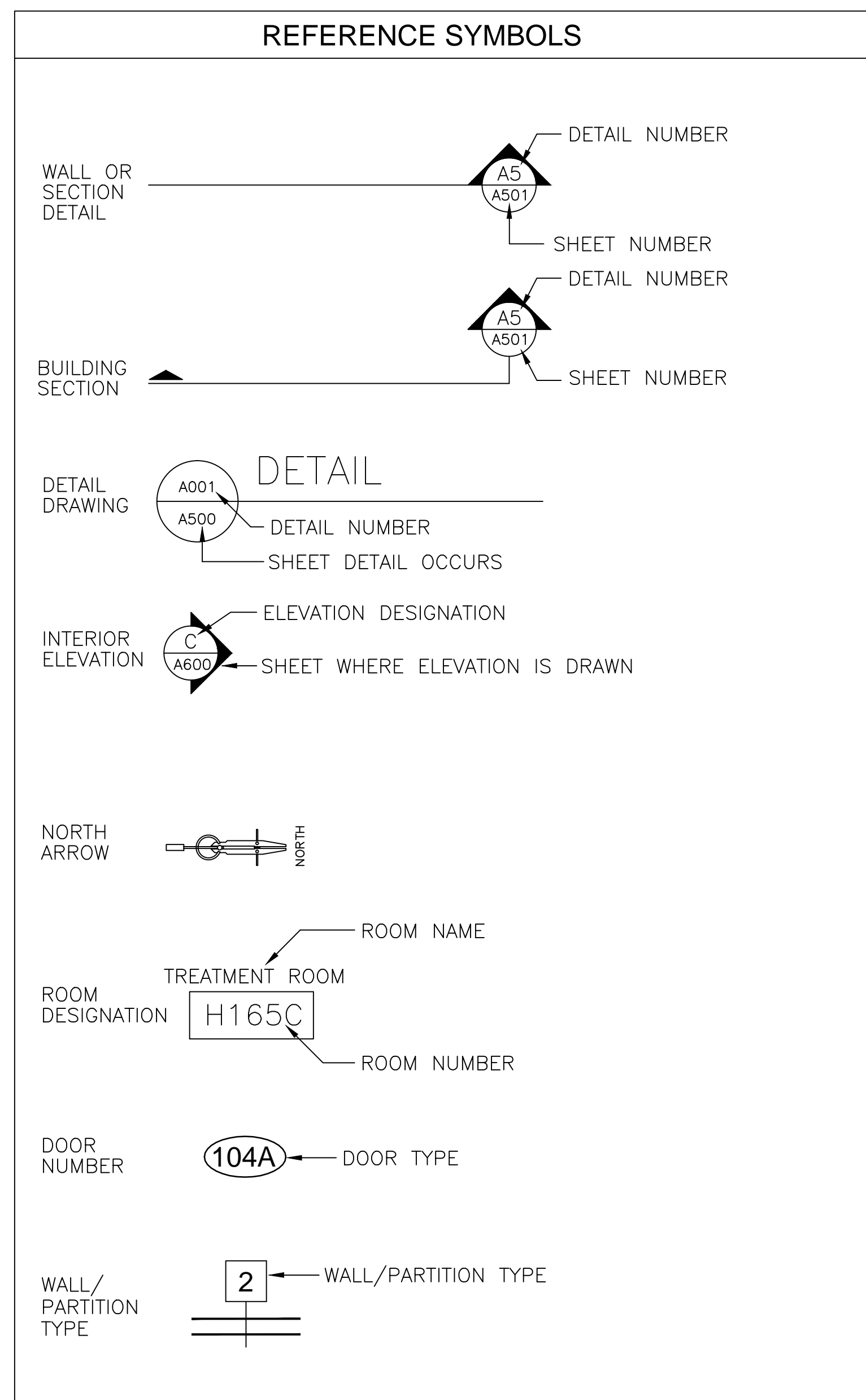
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REVISIONS
FOR BIDDING 07-13-12

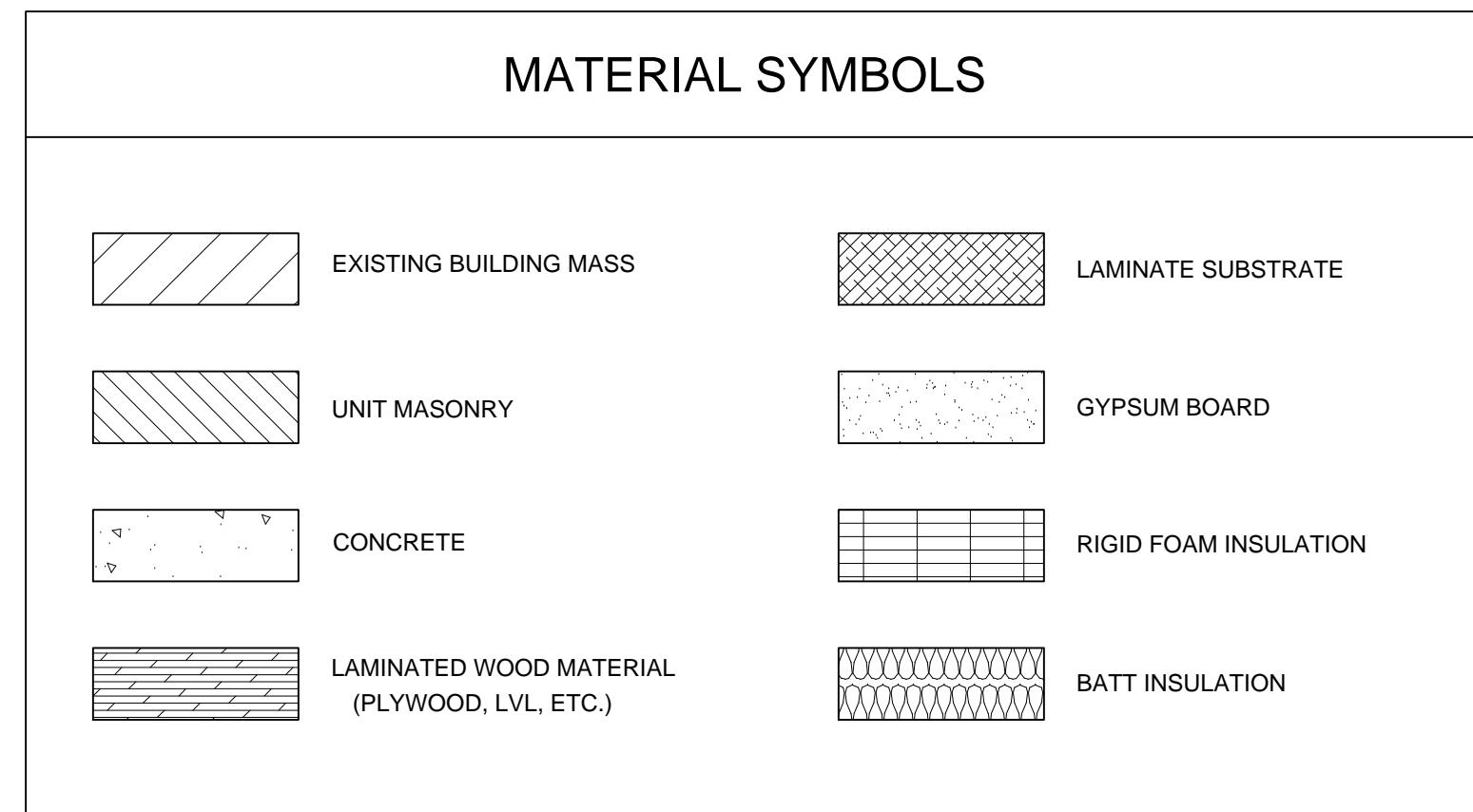
COVER SHEET

Date: 06-29-12
Drawn: BRB
Checked: MEC

G100



- ### GENERAL NOTES
- ASBESTOS ABATEMENT OR ANY OTHER HAZARDOUS MATERIAL ENCOUNTERED IS NOT PART OF THE SCOPE OF WORK. CONTRACTOR SHALL CONTACT OWNER IMMEDIATELY IF ANY SUSPECT MATERIALS ARE ENCOUNTERED.
 - EXISTING CONDITIONS SHOWN ON DRAWINGS BASED ON INFORMATION PROVIDED BY THE UNIVERSITY OF SOUTH CAROLINA. THIS INFORMATION IS FOR REFERENCE ONLY AND MUST BE VERIFIED BY THE CONTRACTORS.
 - GENERAL CONTRACTOR AND ALL APPROPRIATE SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING DEMOLITION AND NEW CONSTRUCTION.
 - ALL WORK PERFORMED ON EXISTING WARRANTED SYSTEMS OR ASSEMBLIES SHOULD BE PERFORMED BY APPROVED CONTRACTORS FOR SUCH ASSEMBLIES AND IN SUCH A MANNER THAT EXISTING WARRANTIES ARE NOT VOIDED OR JEOPARDIZED IN ANY MANNER.
 - SEE PLANS FOR REQUIREMENTS OF FIRE RATINGS AND SOUND CONTROL.
 - WALL DIMENSIONS SHOW ON PLANS ARE TO FACE OF EXISTING AND OR NEW GYPSUM BOARD.
 - EXISTING PARTITIONS SHALL BE MAINTAINED AND SECURED DURING DEMOLITION AND CONSTRUCTION.
 - CONSTRUCTION MATERIALS OR CONSTRUCTION PROCESSES WHICH ARE HAZARDOUS TO WORKERS OR FUTURE OCCUPANTS ARE NOT PERMITTED.
 - THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE WORK TO BE COMPLETED. THEY ARE NOT INTENDED TO REPRESENT THE ENTIRE CONSTRUCTION PROCESS AND ACCESSORIES USED. THE CONTRACTORS ARE RESPONSIBLE FOR COMPLETED SYSTEMS AND TO BE IN COMPLIANCE WITH GOVERNING CODES AND THE INTENT OF THE CONSTRUCTION DRAWINGS.
 - SEE REFLECTED CEILING PLANS FOR ADDITIONAL REQUIREMENTS FOR PARTITION TYPES AND REFERENCE FOR FIRE RATINGS, SOUND CONTROL, AND OTHER PROTECTIVE CONDITIONS.
 - TESTING AND CODE REFERENCES USED IN THESE DRAWINGS BY ABBREVIATION. OTHER TESTING AGENCIES ARE ACCEPTABLE IF IN COMPLIANCE WITH TESTING STANDARDS.
 - FURRED WALL SYSTEMS WITH GYPSUM BOARD SHALL EXTEND A MINIMUM OF 4" ABOVE CEILING LINE, OR WHERE NO CEILING OCCURS, TO UNDERSIDE OF DECK SYSTEM ABOVE.
 - SEE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OTHER FOR ADDITIONAL NOTES AND REFERENCES.
 - PROVIDE FIRE CAULK SEALANT AT BOTH NEW AND EXISTING PENETRATIONS THRU FIRE RATED CONSTRUCTION. FIRE CAULK RATING SHALL MATCH RATED SYSTEM BEING PENETRATED. PROVIDE APPROVED BACKER/FILLER MATERIAL AS REQUIRED. CONTRACTOR SHALL PROVIDE A LIST, INCLUDING LOCATION OF ALL CAULKING AND FILLER MATERIAL, WITH U.L. SYSTEM DESIGN NUMBER FOR ARCHITECT'S APPROVAL.
 - ALL RATED PARTITIONS SHALL MEET CONSTRUCTION OF UL FIRE-RATINGS AS LISTED. TYPE 'X' GYPSUM BOARD SHALL BE USED WHERE FIRE RATED PARTITIONS ARE INDICATED ON DRAWINGS.
 - PROVIDE UL RATED/LABELED FIRESTOPPING AT FIRE RATED PARTITIONS WHERE SOUND RATINGS ARE CALLED OUT. ALL PARTITION PENETRATIONS SHALL BE SEALED WITH APPROPRIATE RATED SEALANTS. ACOUSTICAL SEALANT IS REQUIRED ALONG THE FULL PERIMETER OF ALL SOUND RATED PARTITIONS.
 - METAL STUDS SHALL BE STAGGERED ON EACH SIDE.
 - DETAILS ARE SHOWN TO DESCRIBE DESIGN INTENT. COORDINATE COMPLETE SHOP DRAWINGS, SHOWING ALL CONSTRUCTION DETAILS AND LAYOUTS AS REQUIRED FOR A COMPLETE JOB, ADHERING TO THE MANUFACTURER'S WARRANTIES AND LOCAL AND STATE CODES.



INTERNATIONAL EXISTING BUILDING CODE: 2009 EDITION

TABLE 5.6-1. DESIGN CODES AND STANDARDS

PROJECT DESIGNED IN ACCORDANCE WITH:

- International Existing Building Code, 2009 Edition.
- International Building Code, 2009 Edition.
- International Energy Conservation Code, 2009 Edition.
- International Fire Code, 2009 Edition.
- International Fuel Gas Code, 2009 Edition.
- International Mechanical Code, 2009 Edition.
- International Plumbing Code, 2009 Edition.
- ICC Electrical Code, Administrative Provisions, Administrative Provisions, ICC EC-2006 Edition.
- National Electrical Code, NFPA 70, 2005 Edition.
- National Electrical Safety Code, ANSI-C2-2002 Edition.
- State Fire Marshal Regulations, latest revision
- ASHRAE/IESNA 90.1, Energy Standard for Buildings except Low-Rise Residential Buildings 2001 Edition.
- ICC/ANSI-A117.1-2003, Accessible and Usable Buildings and Facilities.

TABLE 5.6-2. BASIC CODE REVIEW INFORMATION

- Site Development
 - Total Area of Project Site (in acres): N/A
 - Total Area of Project Site that will be Disturbed/Developed (in acres): N/A
 - Municipality and/or County Where Project is Located: COLUMBIA, SC
 - Jurisdiction for: OFFICE OF THE STATE ENGINEER
 - Site Work: N/A
 - Fire Department: City of Columbia Project in Fire District? Yes No
 - Water: -
 - Sewer: -
 - Zoning: - Land Use Zone: CITY OF COLUMBIA
 - Is Project in a Flood Plain? Yes No
 - Is Project in Wetlands Area? Yes No
- Occupancy
 - Occupancy Classification: - Group: B
 - Additional Occupancy Classification(s): N/A Group: -
- Type of Construction
 - Construction Classification: II-B
 - Is the building construction protected or unprotected? - Un-Protected
 - Is the building construction of combustible or noncombustible materials? - Combustible
 - Is the building provided with a fire protection sprinkler system? - No
- General Building Design, Allowable Area, Height and Occupant Load

Building Area Allowed by IBC Table 500:
(See Tables 5.6-3, 5.6-4, 5.6-5)

TABLE 5.6-3: BUILDING AREA (EXISTING)

Floor or Level	Total Design Area	Square Footage as Allowed by IBC			
		Without Increase (IBC Table 503)	Frontage Increase (IBC 506.2)	Sprinkler Increase (IBC 506.3)	Total Allowable Area (IBC 506.1)
MAIN	10,043	23,000	N/A	N/A	23,000
BASEMENT	6,972	23,000	N/A	N/A	23,000
Total Floor Area (incl. all increases)	17,015	28,000	N/A	N/A	46,000

TABLE 5.4: BUILDING HEIGHT

	As Designed		As Allowed by IBC	
	In Feet	In Stories	In Feet	In Stories
Without any Allowable Increase	N/A	N/A	N/A	4
Allowable Height Increase	N/A	N/A	N/A	N/A
Total Height including any Allowable Increase	N/A	N/A	N/A	N/A

TABLE 5.6-5: BUILDING DESIGN OCCUPANT LOAD

Area	Occupancy Type	Occupancy Floor Area	Floor Area in SF/Occupant	Occupants per Occupancy Type	Design Occupant Load
MAIN	B	10,043	100/GSF	101	101
BASEMENT	B	6,972	100/GSF	70	70
					171

TABLE 5.6-7: OTHER FIRE PROTECTION REQUIREMENTS

Item	Yes	No	Comments
Are Smoke Barriers Required?		<input checked="" type="checkbox"/>	
Smoke Partitions Required?		<input checked="" type="checkbox"/>	
Protection of Penetrations Required?	<input checked="" type="checkbox"/>		
Are Penetrations per U. L. Listing /Testing Authority?	<input checked="" type="checkbox"/>		
Opening Protectives Required?		<input checked="" type="checkbox"/>	
Is Draftstopping Required?		<input checked="" type="checkbox"/>	Not for this project
Is Fireblocking Required?		<input checked="" type="checkbox"/>	
Are Sprinklers Required?		<input checked="" type="checkbox"/>	
Are Standpipes Required?		<input checked="" type="checkbox"/>	Not for this project
Is a Fire Alarm System Required?	<input checked="" type="checkbox"/>		Not for this project

TABLE 5.6-8: STRUCTURAL DESIGN INFORMATION (per IBC Chapter 16)

- Floor Live Load PSF - Existing
- Roof Live Load PSF - Existing
- Ground Snow Load PSF - Existing
 - Flat Roof Snow Load, P_f P_f = N/A
 - Snow Exposure Load, C_e C_e = N/A
 - Snow Load Importance Factor, I_s I_s = N/A
 - Thermal Factor, C_t C_t = N/A
- Wind Loads
 - Basic Wind Speed, V_{3S} V_{3S} = N/A
 - Wind Importance Factor, I_w I_w = N/A
 - Building Category - EXISTING
 - Wind Exposure - N/A
 - Internal Pressure Coefficient - N/A
 - Component and Cladding Wind Pressure - N/A
- Seismic Loads - N/A

TABLE 5.6.9: PLUMBING INFORMATION

- Water System: No. Fixture Units: Existing - Peak GPM: Existing - Service Line Size: Existing -
- Sanitary Sewer System Loading: 0 GPD
- Service Line Size: Existing - Slope: Existing -
- Minimum Number of Plumbing Fixtures Required:
 - Water Closets: Req'd: - Male: - Female: - Provided: Male: - Female: -
 - Lavatories: Req'd: - Male: - Female: - Provided: Male: - Female: -
 - Drinking Fountains: Req'd: - Provided: -
 - Unisex toilet: Req'd: - Provided: -
 - Other: Req'd: - Provided: -

NOTE: The Occupant load for minimum required toilet facilities shall be the same as the Building Design Occupant Load indicated in Table 5.6-5, above.

TABLE 5.6-10: MECHANICAL INFORMATION

- Overall Thermal Transfer Value (OTTV): 6.05 (R) 45.54 (W)
- Cooling Load: 312 S.F./Ton
- Heating Load: 15.7 BTU/S.F.
- Outside Air (CFM/Person) 20 CFM/P
- Insulation R-value: Ext. Walls 9 Roof 9
- Glass: U-Factor 95 SC 95 Window-to-Wall Ratio 31

TABLE 5.6-11: ELECTRICAL INFORMATION

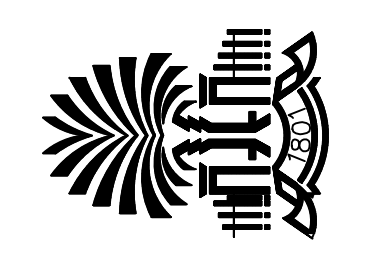
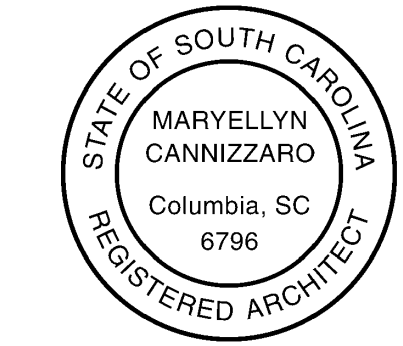
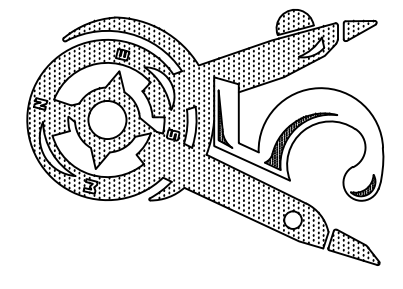
- Service Transformer: Existing By Utility? N/A By Agency? N/A
If by Agency: KVA: - Primary Voltage/Phase: -
- Provide the following service information:
Service Voltage/Phase: N/A Amperes: - Existing
Service Entrance Conductors Size: Existing - Quantity per Phase: -
Total Connected Load KVA: Existing - Estimated Demand Factor: -
Estimated Maximum Demand KVA: Existing -
Available Fault Current in Symmetrical Amperes: Existing -
Interrupting Capacity of Service Overcurrent Device: Existing -
Type of Grounding Electrode System(s) per NEC 250-C: Existing -
- Emergency Generator (if any): X KVA Voltage/Phase - Fuel -
- Exit/Emergency Lights Backup Power: Integral Battery X Generator -
- Emergency Egress Illumination, Minimum Footcandles: 1
- Fire Alarm System: Manual Yes - Automatic Yes - Addressable? X Class A or B? B
- Lightning Protection Provided?: Yes - No X

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1800 Gervais Street Renovations - Construction - Phase II Columbia, SC

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REVISIONS	
FOR BIDDING 07-13-12	
CODE REVIEW WALL TYPES GENERAL NOTES	
Date: 06-29-12	Drawn: BRB
Checked: MEC	G101



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LIFE SAFETY PLANS

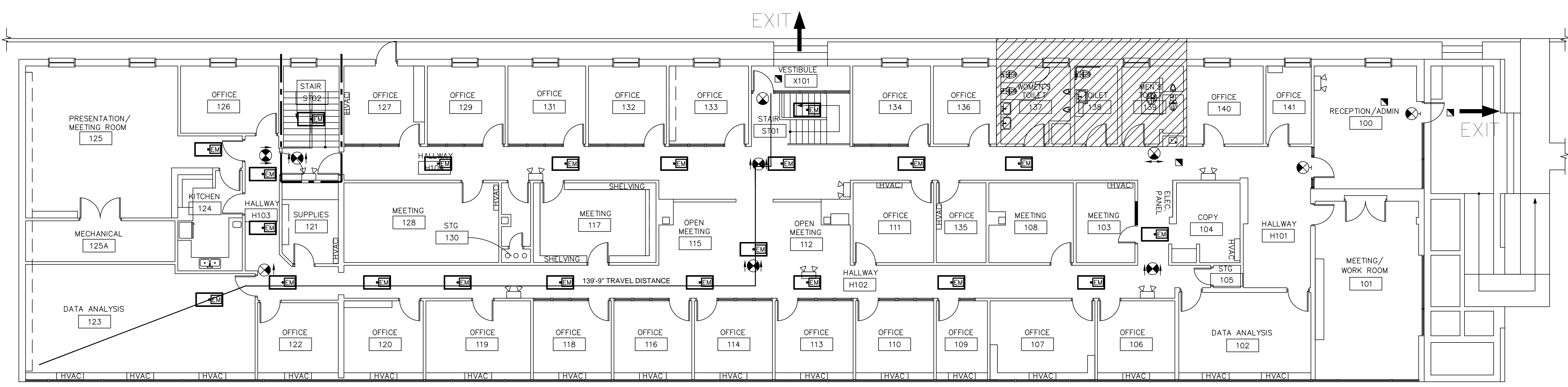
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LEGEND

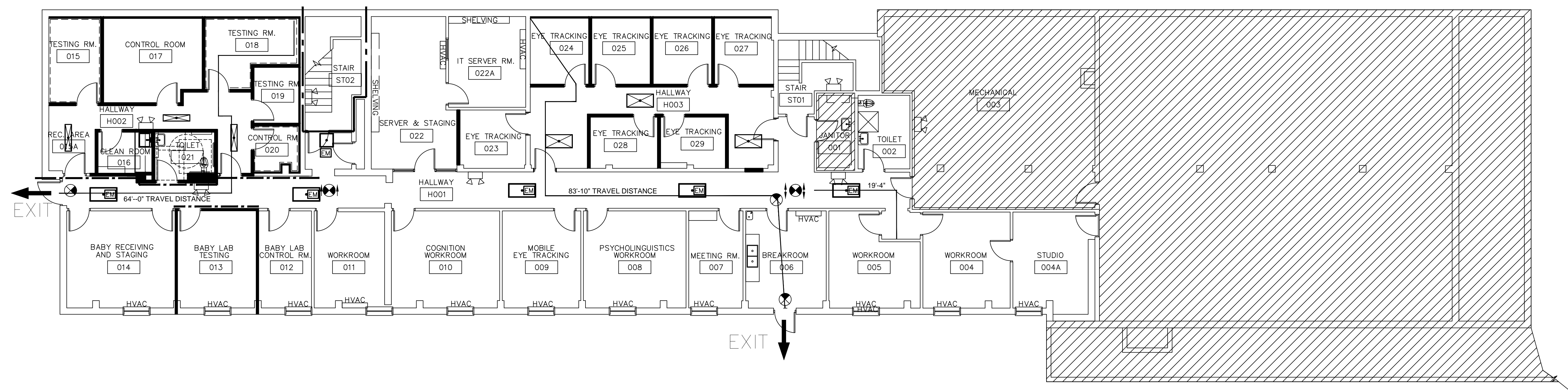
- NON-RATED WALL
- EXISTING 1 HR FIRE/SMOKE RATED WALL
- NEW 1 HR FIRE/SMOKE RATED WALL
- FIRE ALARM STROBE
- FIRE ALARM HORN/SPEAKER/STROBE
- SMOKE DETECTOR
- HEAT DETECTOR
- EMERGENCY LIGHTING
- EMERGENCY LIGHTING
- EMERGENCY LIGHTING
- EXIT SIGN
- FIRE EXTINGUISHER CABINET CHEMICAL TYPE
- EXIT ACCESS CORRIDOR
- EMERGENCY LIGHTING
- NO WORK THIS AREA / EXISTING BUILDING

LIFE SAFETY NOTES

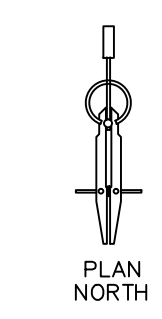
1. MAIN BUILDING OCCUPANCY - GROUP B (BUSINESS)
2. EXISTING BUILDING IS NOT SPRINKLERED.
3. FIRST FLOOR EXISTING SQUARE FOOTAGE - 10043 SQ. FT.
4. BASEMENT EXISTING SQUARE FOOTAGE - 6972 SQ. FT.
5. BASEMENT MECHANICAL SQ. FOOTAGE - 3150 SQ. FT.
6. NEW CORRIDOR WALLS TO BE ONE HOUR RATED.
7. NO DEAD END CORRIDOR SHALL EXCEED 20' IN LENGTH (UNSPRINKLERED) FOR BUSINESS OCCUPANCY.
8. EXIT TRAVEL DISTANCE SHALL NOT EXCEED 200' IN LENGTH (UNSPRINKLERED) FOR BUSINESS OCCUPANCY.



A2 MAIN LEVEL LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



A1 BASEMENT LEVEL LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

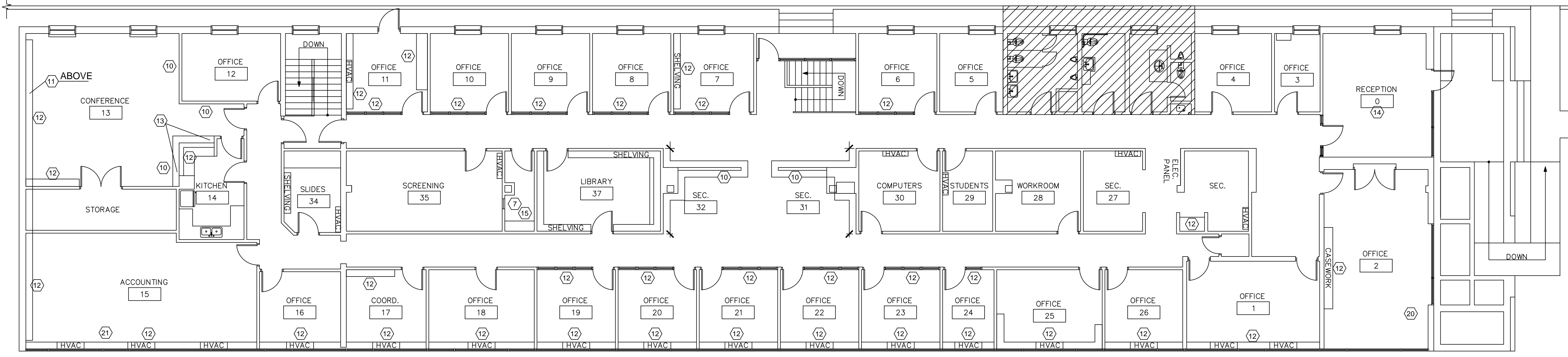


KEYED DEMOLITION NOTES

- 1 REMOVE EXISTING COMMODORE, URINAL, AND SINK COMPLETE. CAP EXISTING LINES IN WALL FOR A FLUSH FINISH. SEE PLUMBING.
- 2 REMOVE EXISTING FINISHES COMPLETE.
- 3 REMOVE ABANDONED MATERIALS ABOVE FORMER CEILING SYSTEM COMPLETE. COORDINATE WITH STRUCTURAL, MECHANICAL, AND ELECTRICAL DEMOLITION.
- 4 REMOVE EXISTING CEILING (30"x24") FOR NEW PLUMBING AND ELECTRICAL CONNECTIONS. COORDINATE WITH ELECTRICAL.
- 5 CLEAN, PREP, AND PRIME WALLS FOR NEW FINISHES. SEE FINISH SCHEDULE SHEET A501.
- 6 REMOVE RESIDUAL DEBRIS FROM RECENT DEMOLITION.
- 7 REMOVE INTERIOR GLAZING AND FRAME COMPLETE FOR INFILL.
- 8 REMOVE DOORS, FRAMES, HARDWARE, THRESHOLDS, AND RELATED MATERIALS.
- 9 REMOVE ABANDONED EQUIPMENT AND RELATED ITEMS COMPLETE.
- 10 REMOVE EXISTING WALL COVERING COMPLETE.
- 11 REMOVE EXISTING ROLL-UP SCREEN COMPLETE. SALVAGE FOR OWNER.
- 12 EXISTING CASEWORK AND SHELVING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION. SEE FINISH SCHEDULE FOR PAINTING.
- 13 REMOVE EXISTING ACCORDION DOOR AND TRACK COMPLETE. CLEAN AND PREP EXISTING TO REMAIN FOR NEW FINISHES. SEE FINISH SCHEDULE ON SHEET A501.
- 14 CLEAN EXISTING TILE FLOOR OF ANY DEBRIS OR GLUE. REFINISH WITH SANGLAZE TILE AND GROUT RESTORATION.
- 15 REMOVE EXISTING SHELVING UNIT COMPLETE.
- 16 REMOVE EXISTING CEILING GRID AND PANELS AS REQUIRED FOR CONSTRUCTION OF NEW WALL. EXISTING GRID TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. SALVAGE EXISTING PANELS FOR REPLACEMENT OF TILES IN ADJACENT AREAS.
- 17 REMOVE 5' OFF END OF SHELVING. COORDINATE WITH MECHANICAL.
- 18 REMOVE CONCRETE BLOCK PARTITION FOR UTILITY DOOR OPENING.
- 19 REMOVE EXISTING WINDOW COMPLETE.
- 20 REMOVE ALL ABANDONED CURTAIN TRACK COMPLETE.
- 21 REPAIR INDENTATIONS WITHIN HVAC WALL UNIT.

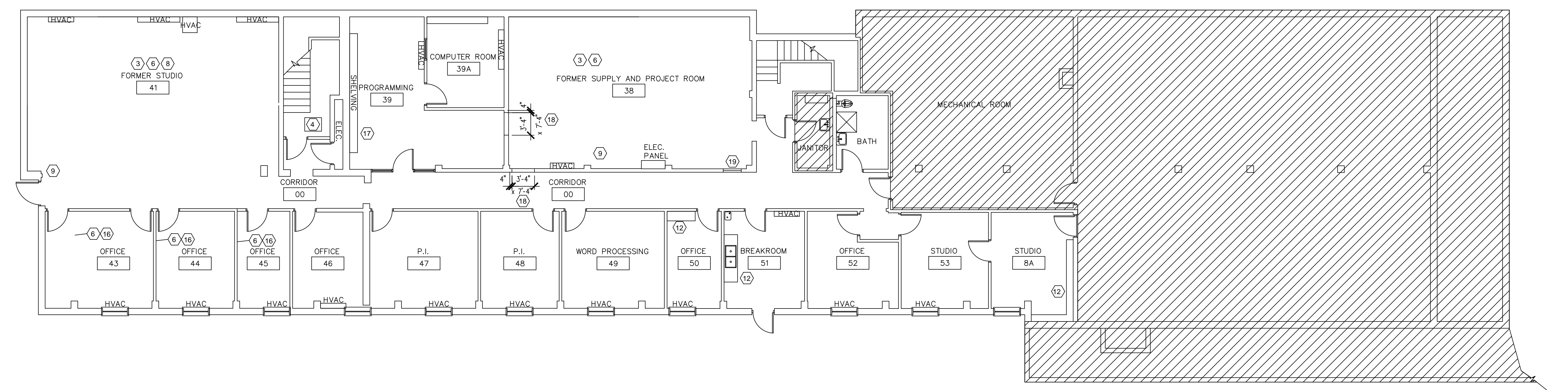
GENERAL DEMOLITION NOTES

- A. BEFORE BEGINNING CONSTRUCTION OR DEMOLITION ACTIVITIES THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT AT ONCE.
- B. REFER TO MECHANICAL, ELECTRICAL OR PLUMBING DRAWINGS FOR MEP DEMOLITION AND COORDINATION.
- C. DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA IS TO BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.
- D. THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- E. COORDINATE DEMOLITION WITH NEW WORK.
- F. IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, HE SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT BETWEEN THE OWNER AND CONTRACTOR IF THE MATERIAL IN QUESTION IS ASBESTOS OR LEAD AND HAS NOT BEEN DECLARED HARMLESS.
- G. THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO G102 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS, FLOORS, ETC.
- H. THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND OR PIPING DRAWINGS.
- I. THE CONTRACTOR IS TO SEAL ALL HOLES LEFT AFTER REMOVAL OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS.
- J. REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES.
- K. EXISTING STRUCTURAL COLUMNS, BEAMS, JOIST, PLATE, AND FRAMING SYSTEMS TO REMAIN THROUGHOUT.
- L. ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC.
- M. ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.
- N. CONTRACTOR SHALL COORDINATE ALL INTERRUPTION OF UTILITIES OR OPERATIONS WITH THE OWNER - WRITTEN NOTICE IS REQUIRED REFER TO SPECIFICATIONS.
- O. INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. REFER TO PROJECT MANUAL FOR ADDITIONAL INTERIM REQUIREMENTS. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. THE INTENT IS TO COVER COMMON, TYPICAL, AND GENERALLY ANTICIPATED ITEMS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME.
- P. EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- Q. THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED. ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO OTHER DISCIPLINES (MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION) DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.
- R. WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- S. ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- T. THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO THE START OF THE WORK. REFER TO PROJECT MANUAL.
- U. CONTRACTOR TO REMOVE ALL ABANDONED OR UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. THE INTENT IS TO COVER COMMON, TYPICAL, AND GENERALLY ANTICIPATED ITEMS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME.
- V. AREAS SHOWING THE REMOVAL OF WALLS TO BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- W. REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, GRAB BARS, ETC.) THAT ARE NOT BEING REUSED IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- X. COORDINATE AND DOCUMENT ALL IN-FLOOR, IN-WALL, AND IN-CEILING CONDUITS, PIPING, CONNECTIONS OR SPECIAL CONDITIONS AS DEMOLITION REVEALS EXISTING CONDITIONS.
- Y. SEE PROJECT MANUAL FOR DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- Z. REMOVE ALL EXISTING DOOR AND ROOM SIGNAGE COMPLETE. CLEAN AREAS OF ALL GLUE AND PREP FOR NEW FINISH OR NEW SIGNAGE.
- AA. REMOVE ABANDONED DRAPERY HARDWARE ALONG EXTERIOR WINDOW WALLS COMPLETE



C1 MAIN LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



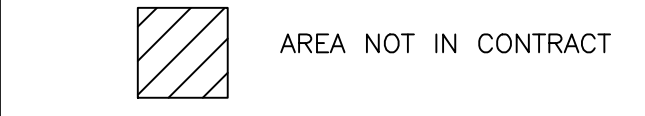
A1 BASEMENT LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION COORDINATION & EXTENT

- IMPACT FOR OTHER FLOORS
- A. THE REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION OF WORK SHOWN ON THE PLANS ALONE. WORK COINCIDENTAL THERETO WHICH IS NECESSARY TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS IS ALSO PART OF THE WORK.
 - B. ANY DEMOLITION WORK NECESSARY ON FLOOR ABOVE AND BELOW SHALL BE SCHEDULED WITH THE OWNER. ANY FINISHES DISTURBED OR DAMAGED AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE PATCHED OR REPLACED TO MATCH EXISTING FINISHES.

LEGEND



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 COMPASS 5 PARTNERS, LLC
 Columbia, SC C-100254
 REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
 MARVELLYN CANNIZZARO
 Columbia, SC 6796
 REGISTERED ARCHITECT

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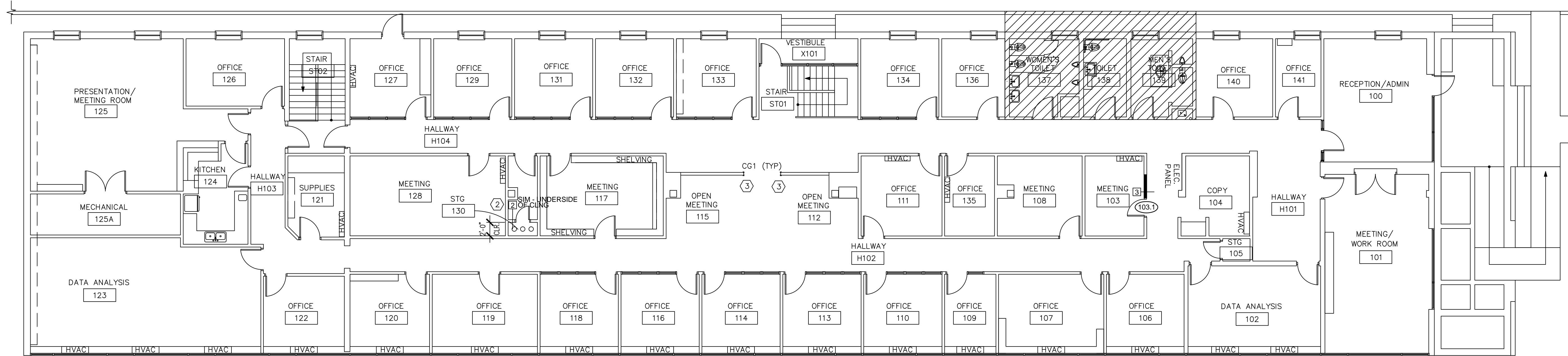
REVISIONS

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DEMOLITION PLANS

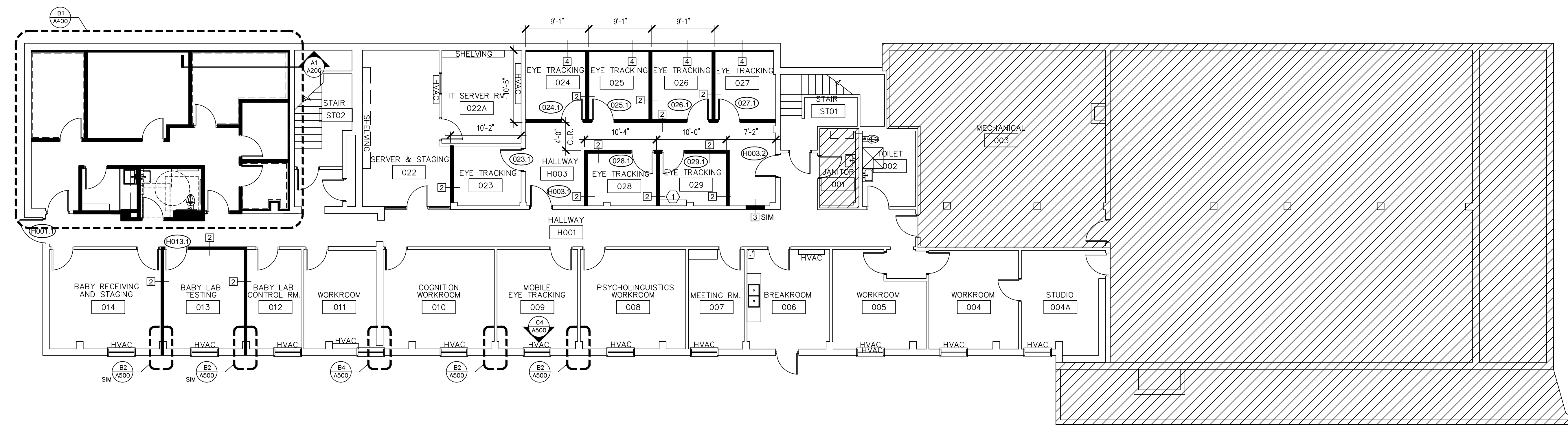
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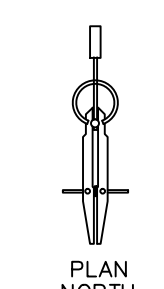
C1 MAIN LEVEL RENOVATION PLAN

SCALE: 1/8" = 1'-0"



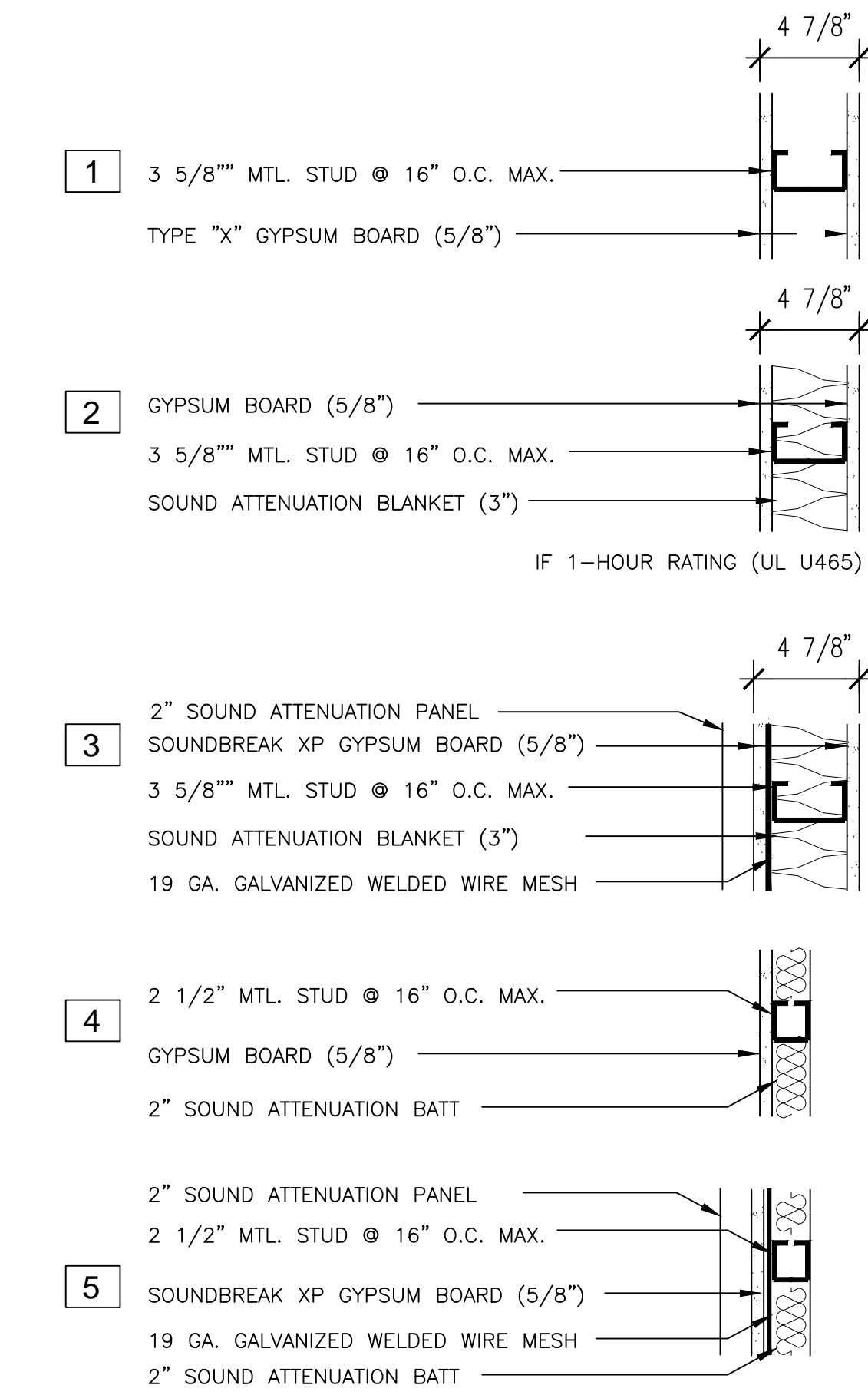
A1 BASEMENT LEVEL RENOVATION PLAN

SCALE: 1/8" = 1'-0"



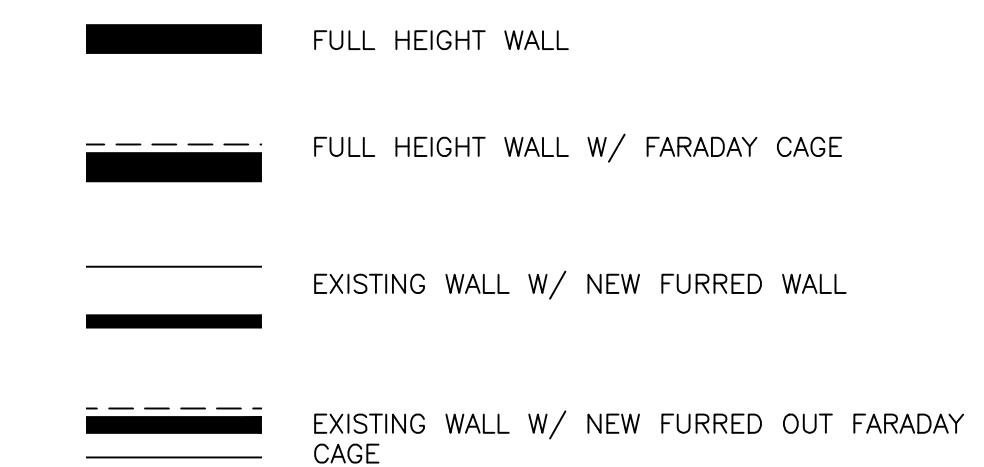
PARTITION TYPES

FIRE RESISTANT RATING APPLIES WHERE INDICATED ON REFLECTED CEILING PLAN



NOTE:
ALL PARTITIONS TO EXTEND TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
ALL PARTITIONS TO RECEIVE CONTINUOUS ACOUSTICAL SEALANT BEAD ALONG TOP AND BOTTOM CHANNEL (EACH SIDE).

LEGEND



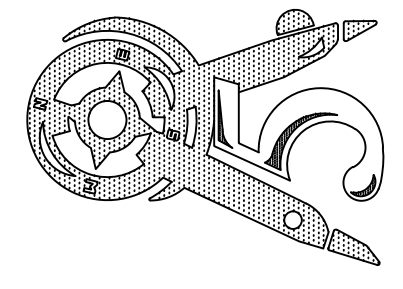
GENERAL RENOVATION NOTES

- A. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT AT ONCE.
- B. "ALIGN" AS INDICATED ON THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE WALLS OR COLUMNS INDICATED.
- C. WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSIDERED AS BINDING FOR THAT WORK.
- D. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- E. DIMENSIONS ARE TYPICALLY SHOWN TO:
1. COLUMN CENTERLINES
2. FACE OF UNIT MASONRY
3. FACE OF FINISHED WALLS
- F. DOOR FRAMES MOUNTED IN STUD FRAMED GYPSUM WALLS ARE LOCATED 4" FROM THE ROOM CORNER TO OUTSIDE FACE OF FRAME UNLESS NOTED OTHERWISE.
- G. PROVIDE A MINIMUM 20 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND RELATED ITEMS.
- H. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS, FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- I. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- J. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- K. PROVIDE 16 GAGE SHEET STEEL BLOCKING FOR ALL HAND RAILS, ACCESSORIES, BUMPER RAILS, WALL MOUNTED EQUIPMENT AND ALL OWNER FURNISHED ITEMS AS REQUIRED. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- L. WHERE EXISTING RATED WALL ASSEMBLIES ARE MODIFIED TO ALLOW FOR NEW WORK THEY SHALL BE RECREATED TO MATCH RATED ASSEMBLY COMPONENTS. ANY REMOVAL, DAMAGE OR EXISTING BREECHEES TO RATED WALL ASSEMBLIES SHALL BE REPAIRED OR REPLACED TO MAINTAIN EXISTING OR PRESCRIBED RATINGS.
- M. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- N. PATCH AND PAINT AREAS WHERE HARDWARE AND DRAPERY IS REMOVED.

KEYED RENOVATION NOTES

- ① FRAME OUT AROUND EXISTING ELECTRICAL PANEL. WALL TYPE 4. REMOVE EXISTING FINISH, PRIME, AND PAINT COMPLETE.
- ② INFILL AND REFINISH EXISTING WALL TO MATCH AT FORMER ONE-WAY GLASS LOCATION.
- ③ RE-FRAME EDGE OF WING WALL FLOOR TO CEILING WITH NEW CORNER BEAD AND GWB PREP FOR PAINTING.

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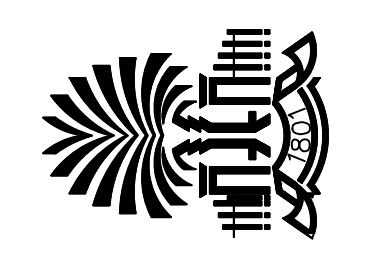
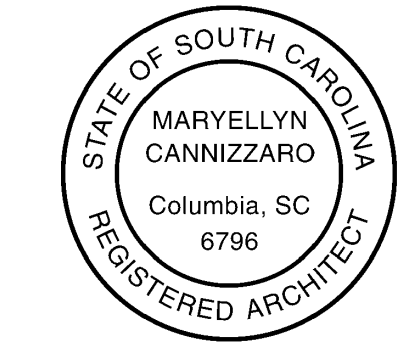
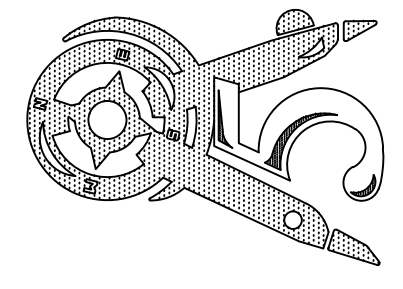
STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
MARVELLYN CANNIZZARO
Columbia, SC
6796

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FLOOR PLANS

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LEGEND

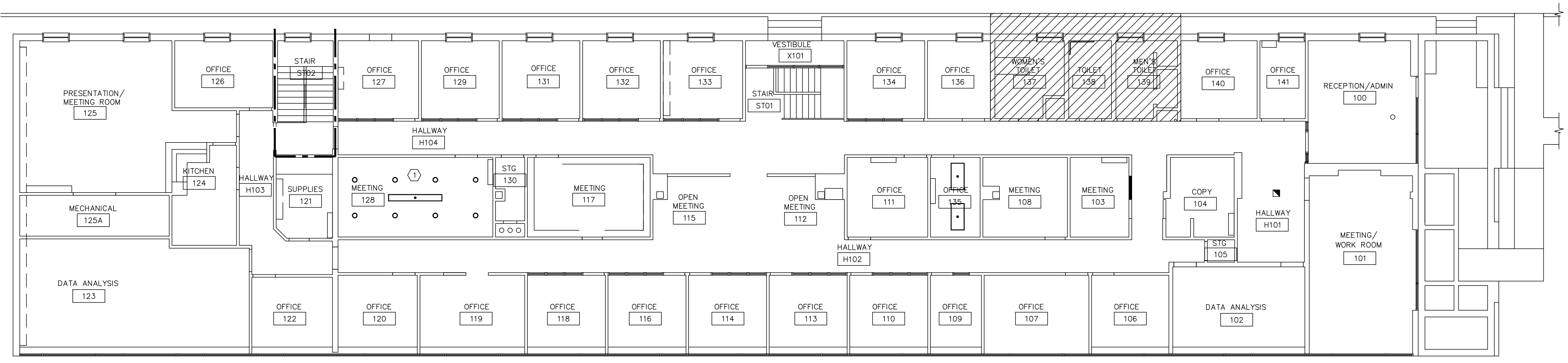
- 2x2 LAY-IN ACOUSTICAL CEILING PANEL
- 2x2 SUPPLY DIFFUSER
- 2x2 RETURN DIFFUSER
- 1x1 RETURN DIFFUSER
- SMOKE DETECTOR
- EXIT SIGN
- 2x4 FLUORESCENT LIGHT FIXTURE
- FIXTURE CONNECTED TO EMERGENCY POWER SOURCE
- 8'-0" CEILING HEIGHT

GENERAL CEILING NOTES

- A. LIMITED CEILING WORK ON MAIN LEVEL. SEE FINISH SCHEDULE A-501.
- B. BASEMENT LEVEL CEILING WORK AS SHOWN. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
- C. COORDINATE WITH MECHANICAL AND ELECTRICAL FOR NEW DEVICES TO BE INSTALLED IN EXISTING LOCATIONS.

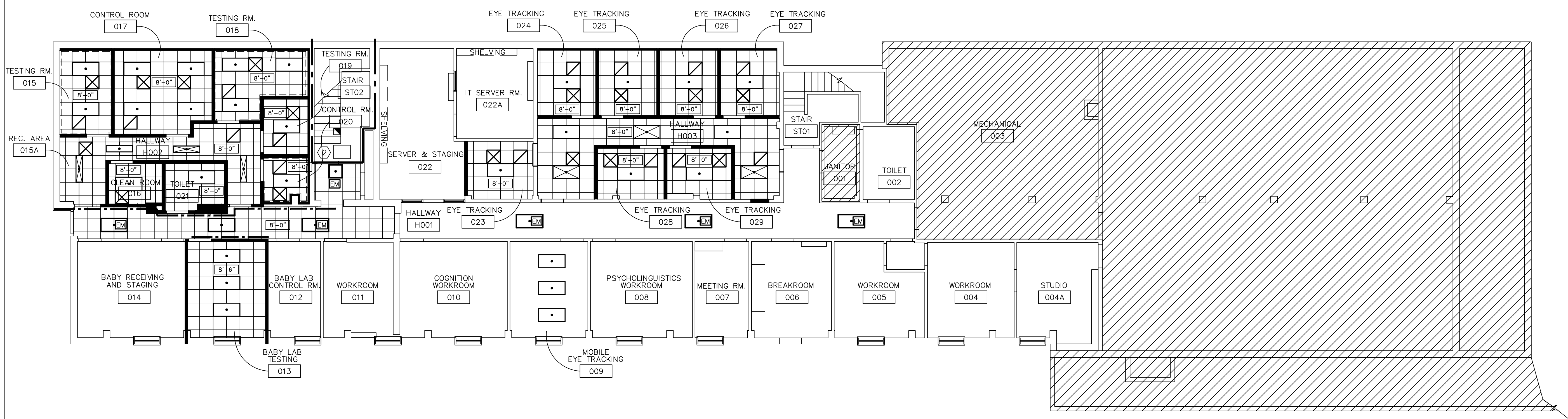
KEYED CEILING NOTES

- ① PAINT EXISTING GRID WHITE. REPLACE CEILING TILES - ACT1.
- ② REPLACE DRYWALL CEILING TO ACCOMMODATE NEW DUCTWORK. PREP, PATCH AND PAINT COMPLETE.



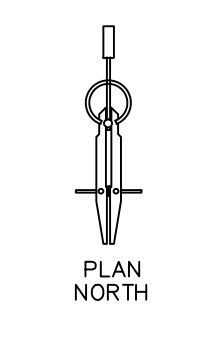
C1 MAIN LEVEL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



A1 BASEMENT LEVEL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

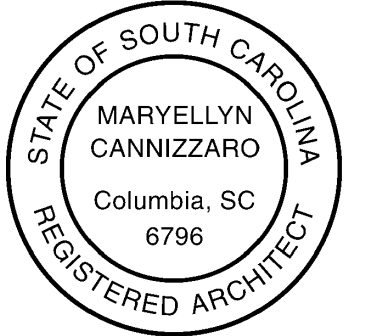
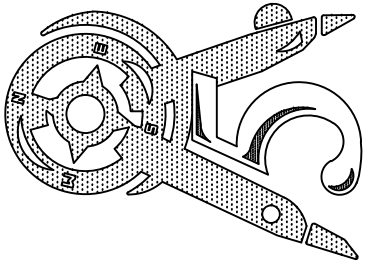


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REFLECTED CEILING PLANS	
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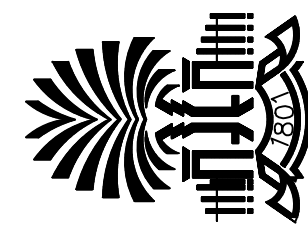
CASEWORK NOTES

1. CONTRACTOR SHALL VERIFY FIELD DIMENSIONS FOR ALL CASEWORK LOCATIONS.
2. ALL WALL OPENINGS THAT ALIGN WITH OPENINGS IN CASEWORK SHALL HAVE APPROPRIATE COVERS AND SEALS TO PREVENT THE TRANSFER OF DUST AND DEBRIS.
3. ALL PLASTIC LAMINATE CABINET DOORS AND DRAWERS TO HAVE 3MM PVC EDGE BANDING.
4. KEYED LOCKS SHALL BE PROVIDED ON TWO CABINET DOORS AND TWO DRAWERS. COORDINATE KEYING SCHEME WITH OWNER.
5. CONTRACTOR SHALL PROVIDE SHEET METAL BLOCKING AS SPECIFIED FOR ALL WALL MOUNTED ITEMS AND ACCESSORIES. THIS INCLUDES OWNER FURNISHED, VENDOR FURNISHED, AND CONTRACTOR FURNISHED ITEMS.
6. ALL CABINETS AND SOFFITS TO BE PL1.
7. PROVIDE AND INSTALL ROBE HOOK ON BACK OF ALL NEW DOORS.
8. PROVIDE FILLER PANEL AS REQUIRED.
9. ALL SOLID SURFACE COUNTERTOPS TO HAVE 1/4" RADIUS EASED EDGES AND CORNERS WHERE EXPOSED.

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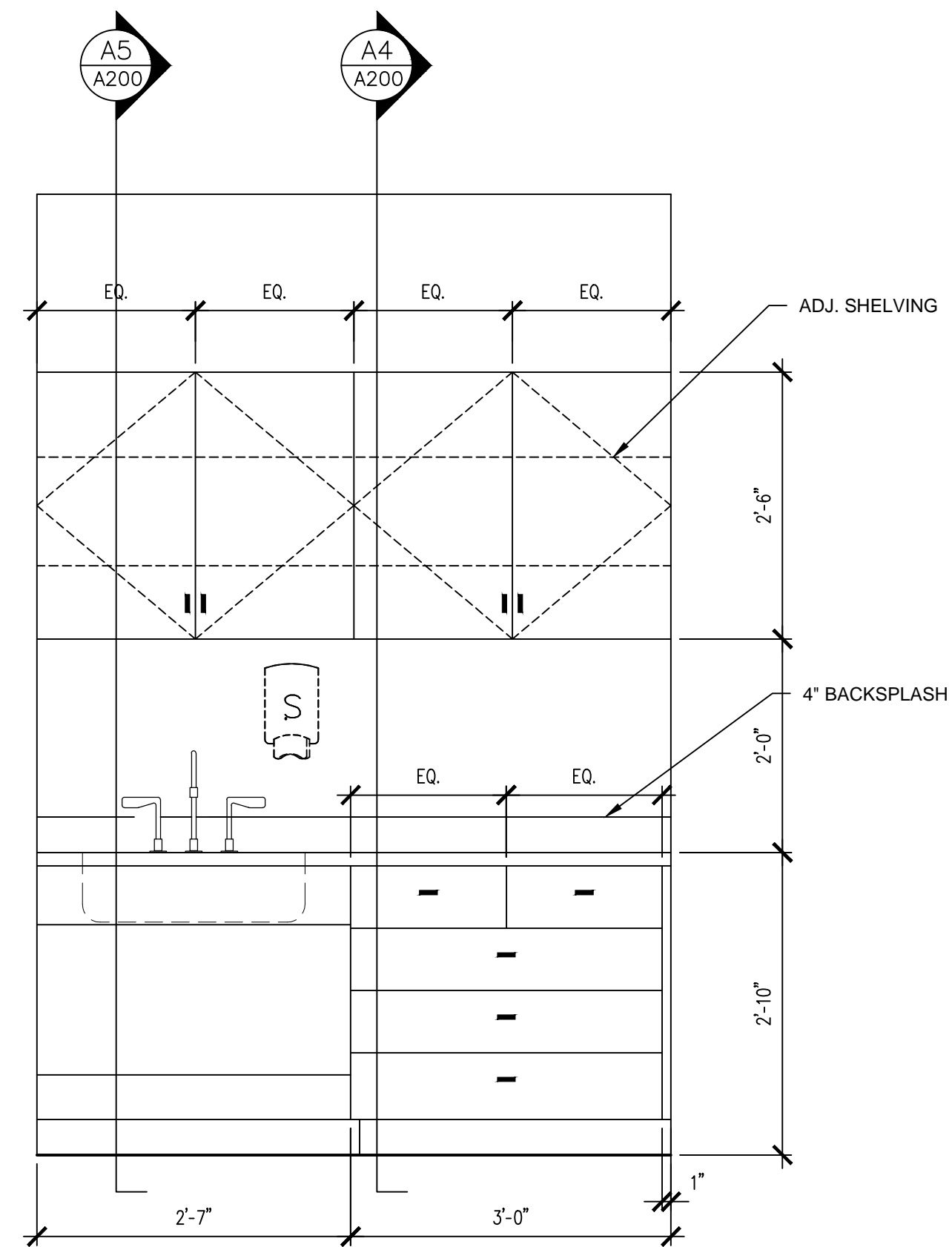


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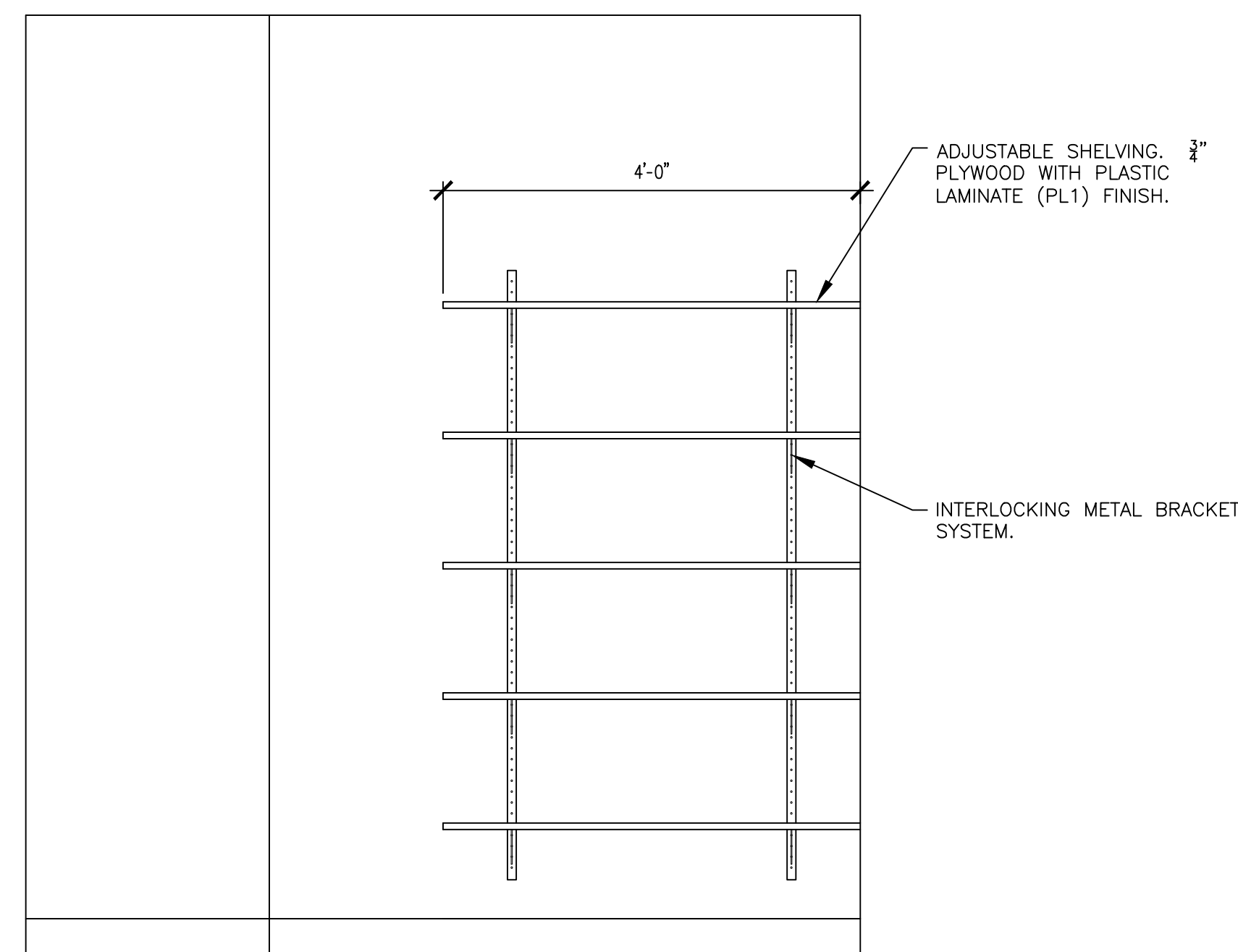
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CASEWORK AND DETAILS

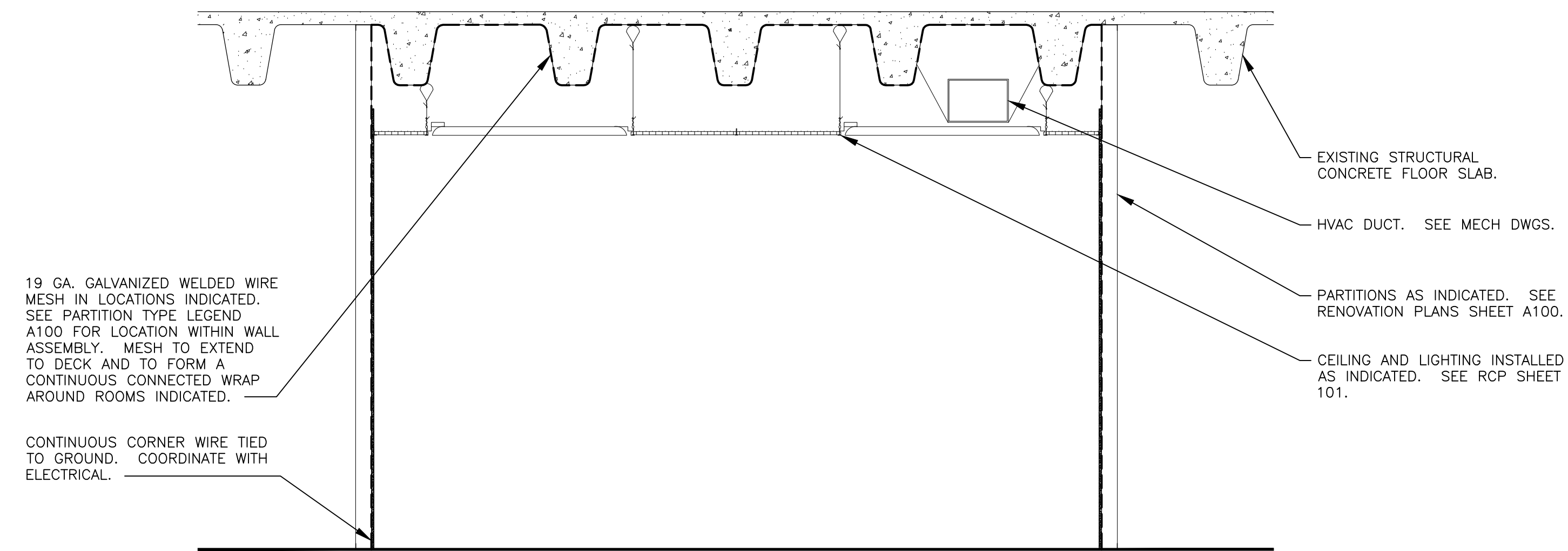
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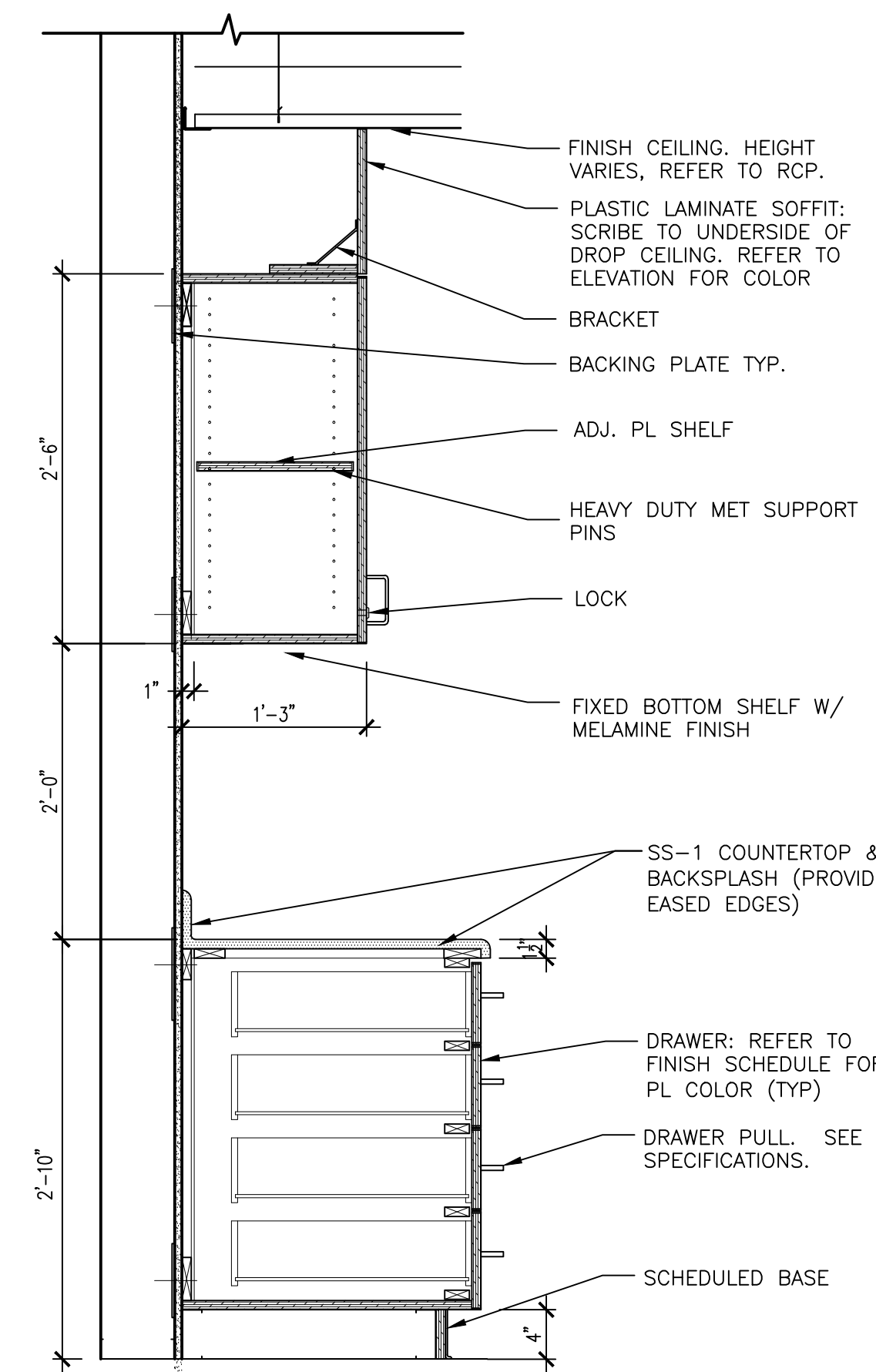
B1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



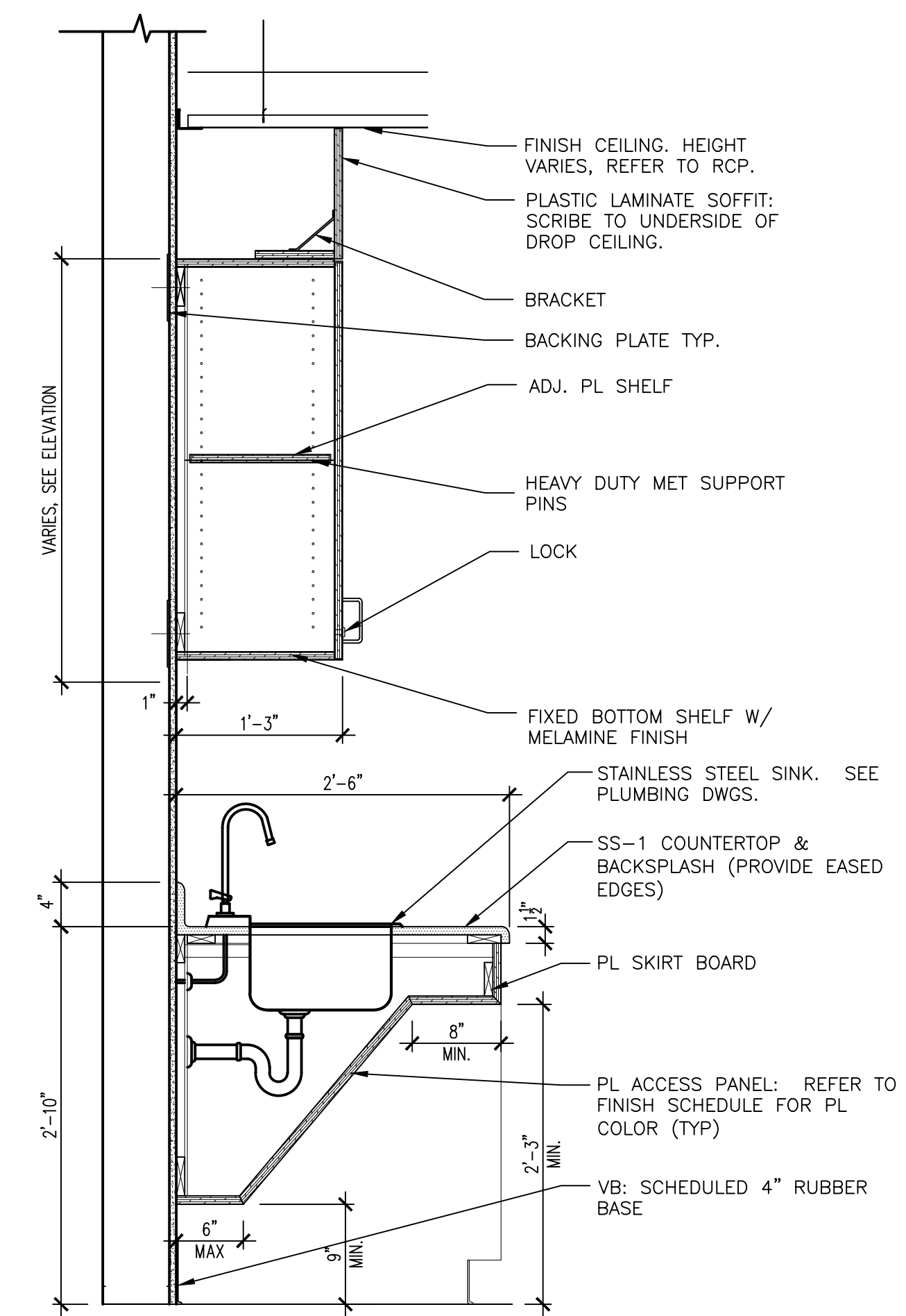
B2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



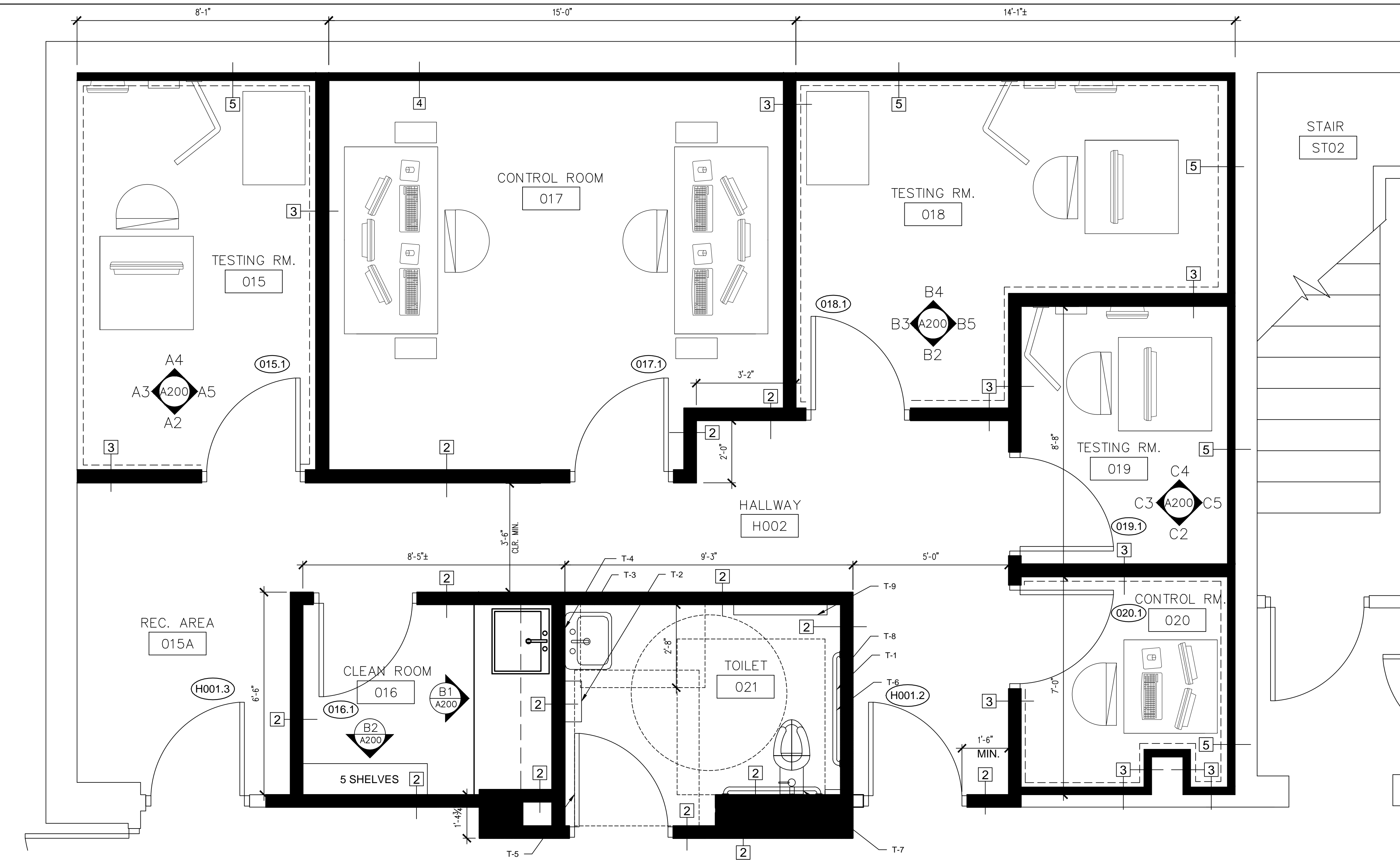
A1 FARADAY CAGE AND MECH/ELEC COORDINATION SECTION (TYP)
TESTING ROOM 018
SCALE: 1/2" = 1'-0"



A4 CASEWORK - SECTION
SCALE: 1" = 1'-0"



A5 CASEWORK - SECTION
SCALE: 1" = 1'-0"



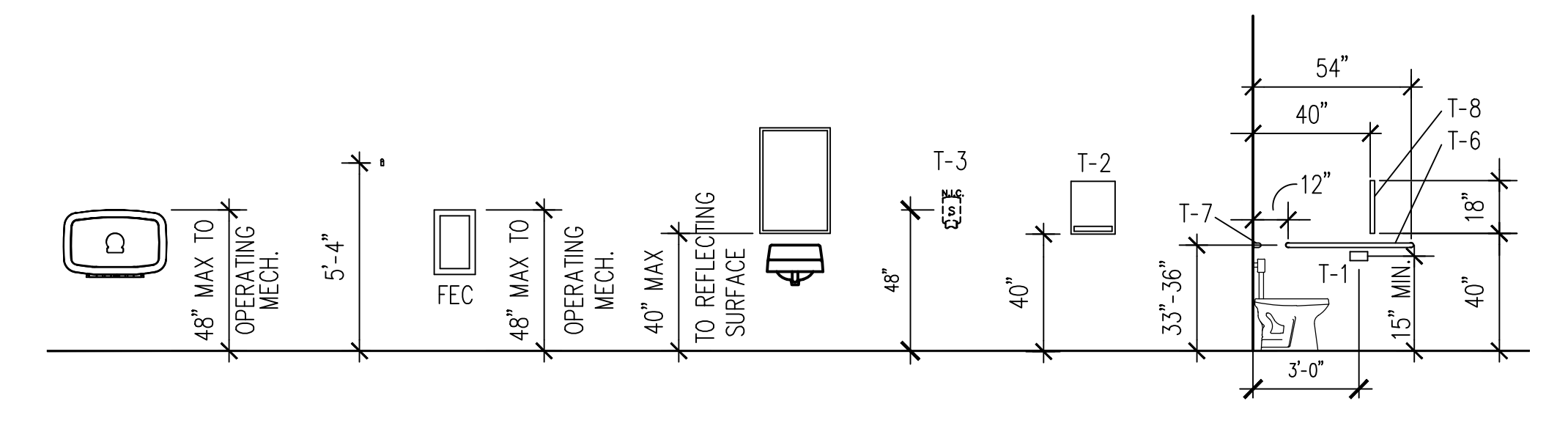
D1 ENLARGED PLAN

GENERAL NOTES

- CONFIRM EQUIPMENT MOUNTING LOCATIONS AND ELECTRICAL BOX LOCATIONS PRIOR TO BEGINNING ACOUSTICAL WALL PANEL INSTALLATION.
- COORDINATE ACOUSTICAL WALL PANELS WITH FLUSH-MOUNTED BOXES AND MOUNTING HARDWARE. SEE ELECTRICAL.
- FURNITURE AND EQUIPMENT LAYOUT SHOWN FOR REFERENCE ONLY. FINAL FURNITURE AND EQUIPMENT LOCATIONS TO BE CONFIRMED WITH OWNER.

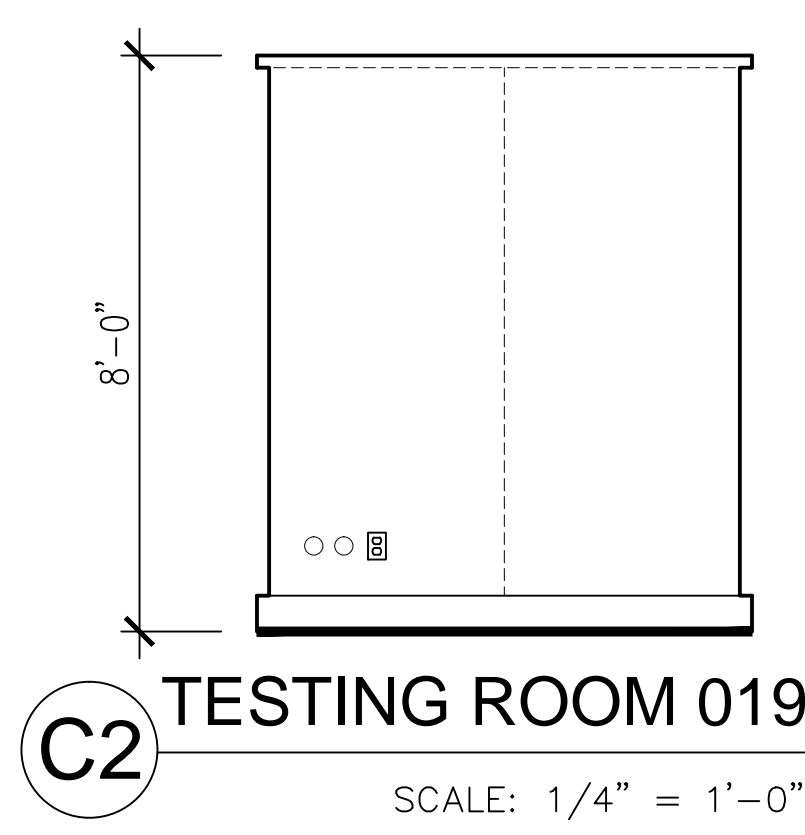
TOILET ACCESSORIES SCHEDULE

ID	DESCRIPTION	BASIS OF DESIGN
T-1	TOILET TISSUE DISPENSER	BOBRICK - B-2888
T-2	PAPER TOWEL DISPENSER	BOBRICK - B-262
T-3	SOAP DISPENSER	BOBRICK - B-2112
T-4	MIRROR GLASS UNIT	BOBRICK - B-165-2436
T-5	ROBE HOOK	BRADLEY 9124
T-6	GRAB BAR 42"	BOBRICK - B6806 x 42
T-7	GRAB BAR 36"	BOBRICK - B6806 x 36
T-8	GRAB BAR 18"	BOBRICK - B6806 x 18
T-9	FOLD-DOWN BABY CHANGING STATION	KOALA CARE - KB108-12

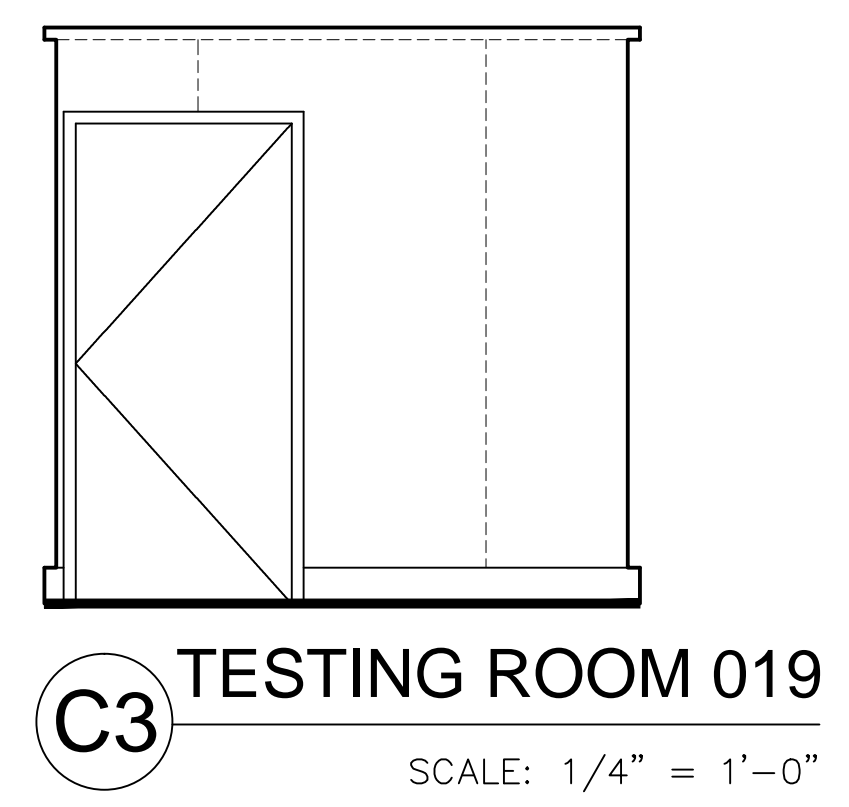


D4 TOILET ACCESSORY ELEVATIONS

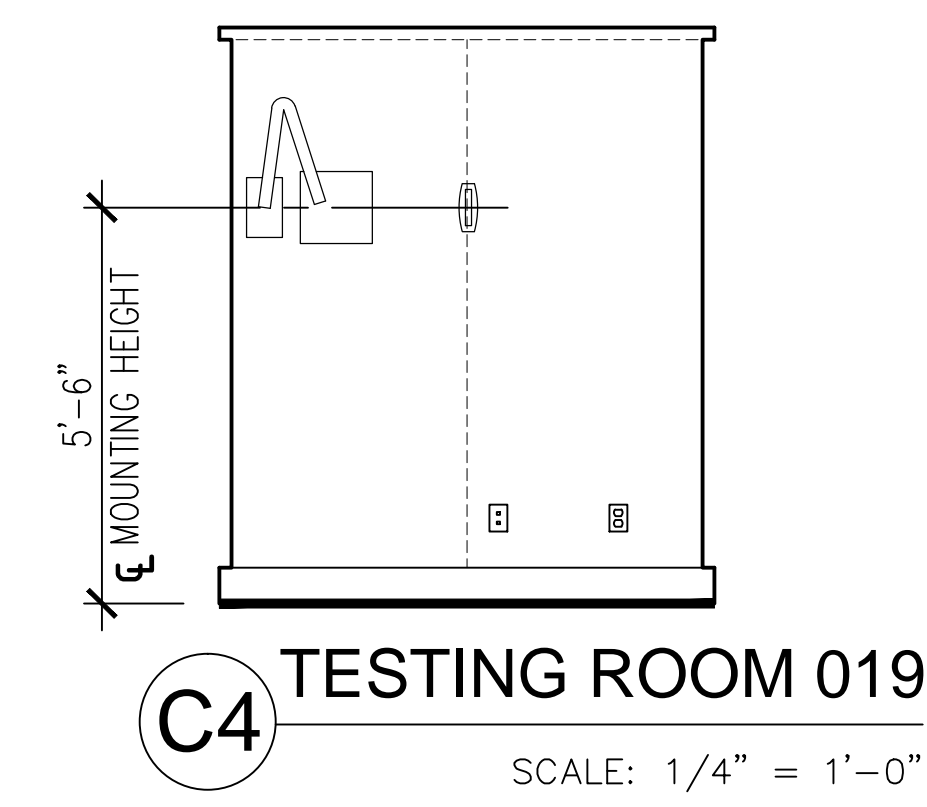
SCALE: 1/4" = 1'-0"



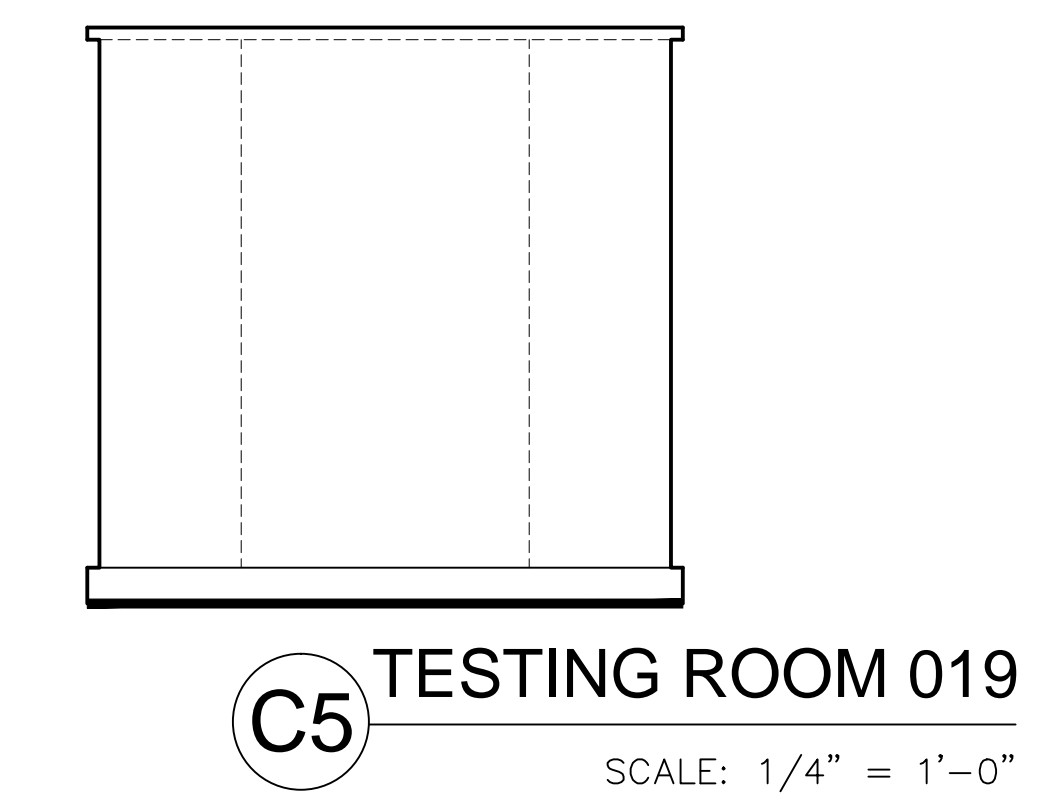
C2 TESTING ROOM 019
SCALE: 1/4" = 1'-0"



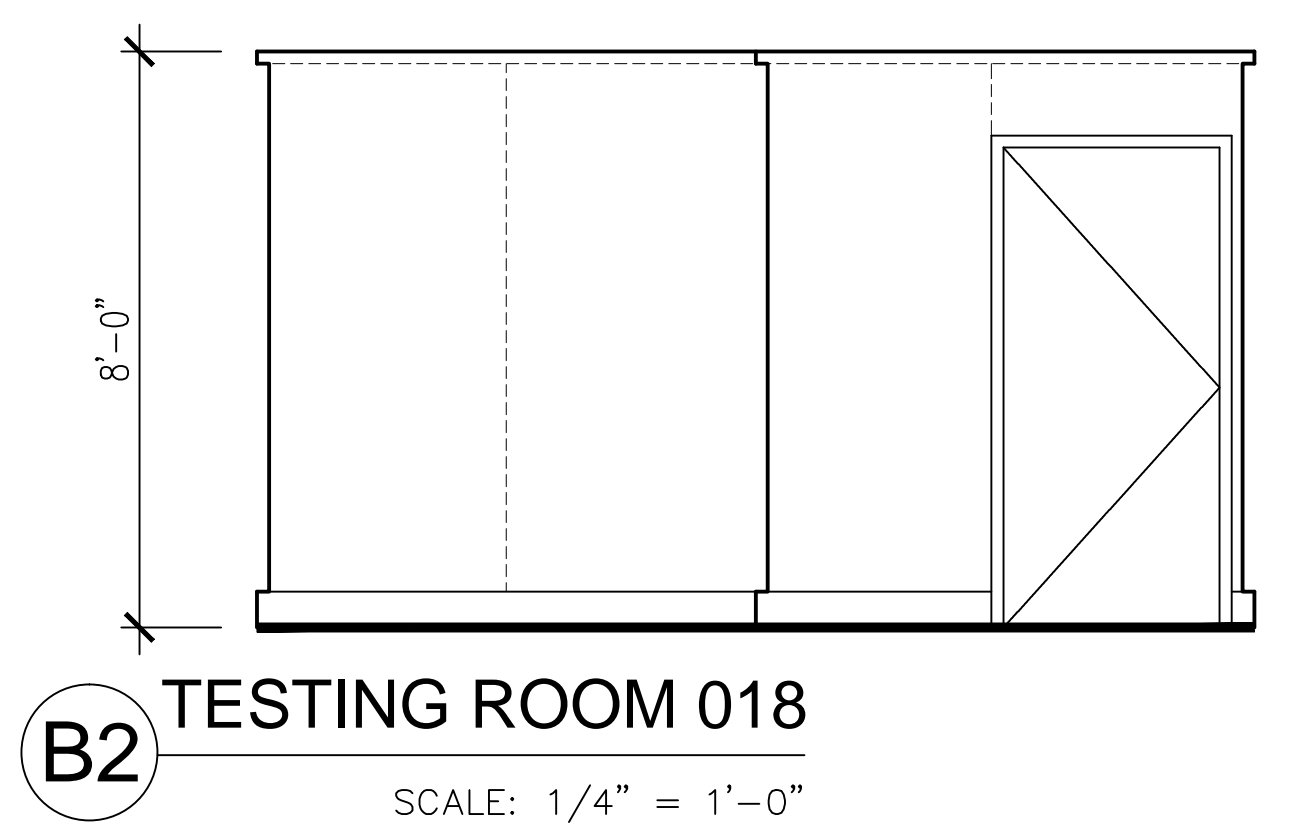
C3 TESTING ROOM 019
SCALE: 1/4" = 1'-0"



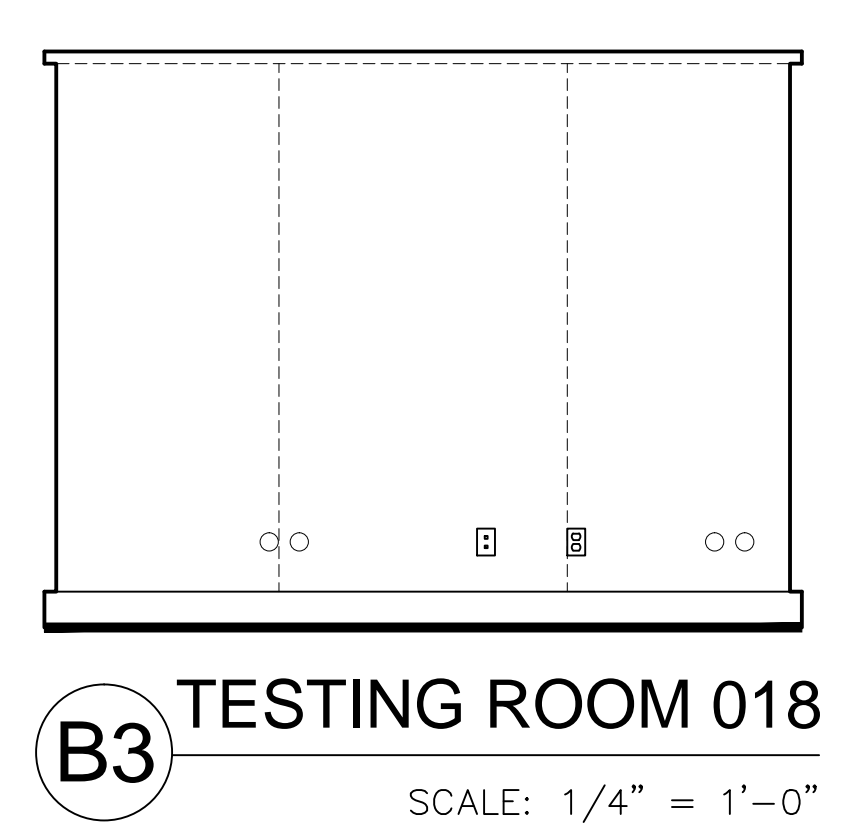
C4 TESTING ROOM 019
SCALE: 1/4" = 1'-0"



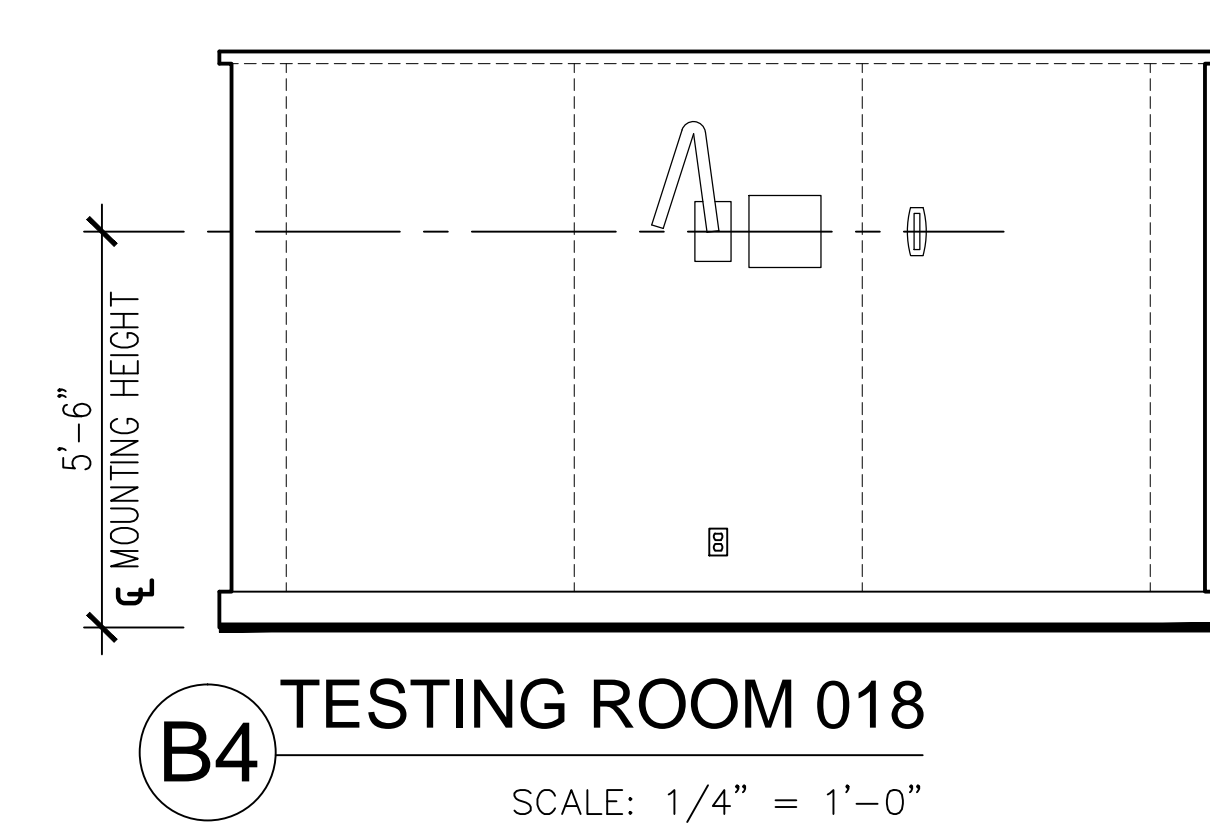
C5 TESTING ROOM 019
SCALE: 1/4" = 1'-0"



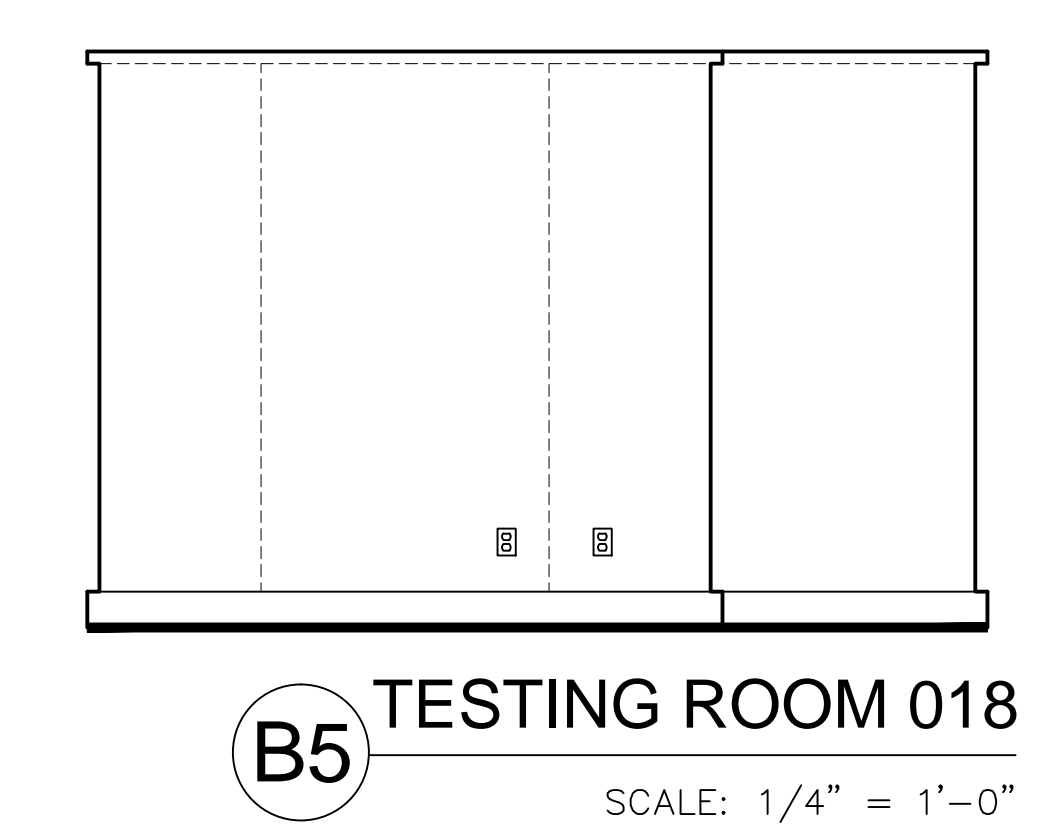
B2 TESTING ROOM 018
SCALE: 1/4" = 1'-0"



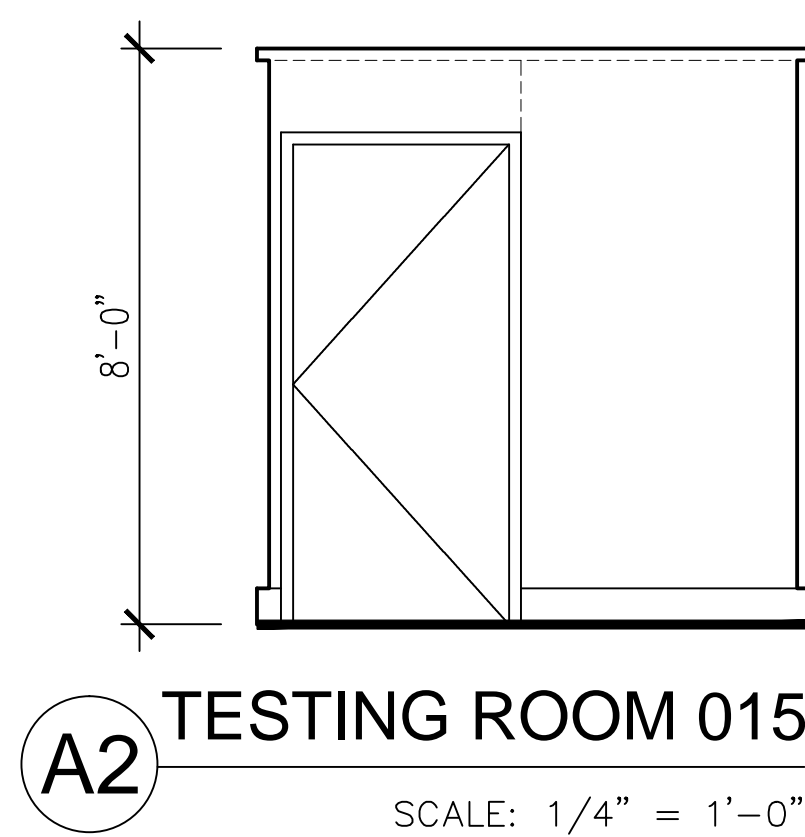
B3 TESTING ROOM 018
SCALE: 1/4" = 1'-0"



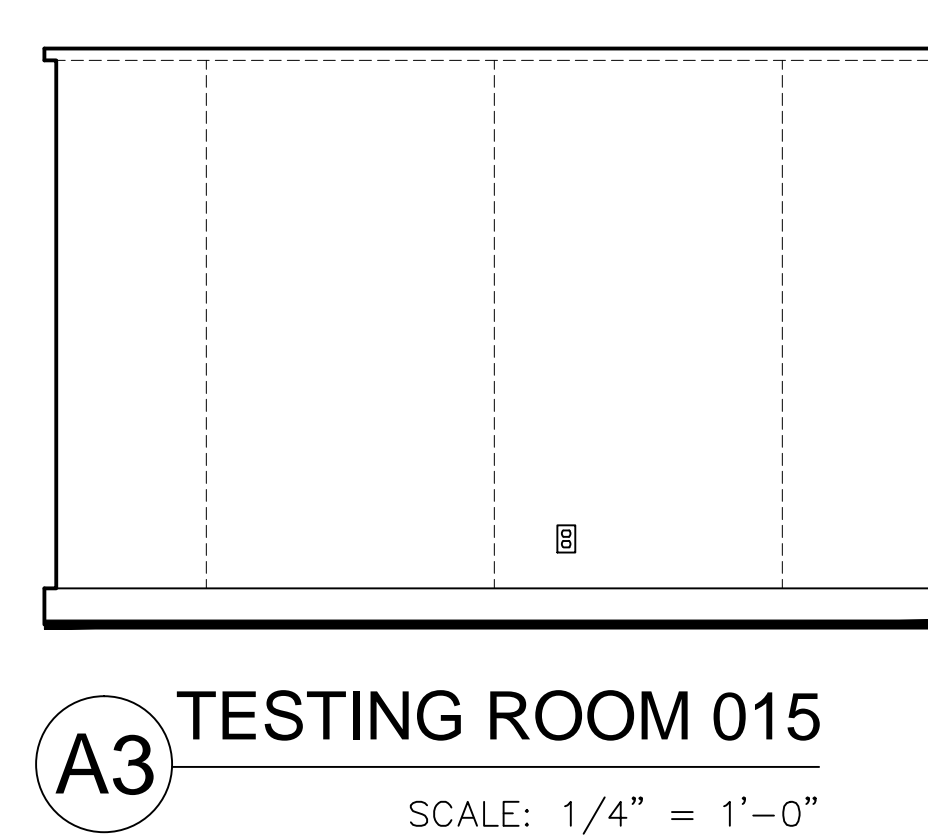
B4 TESTING ROOM 018
SCALE: 1/4" = 1'-0"



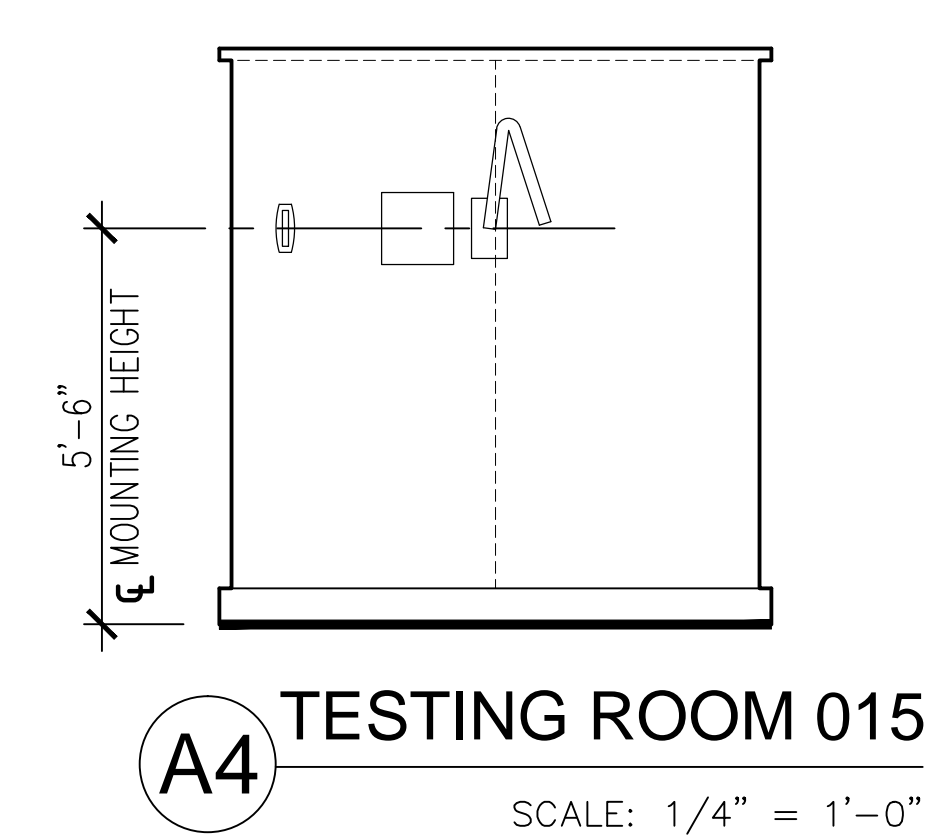
B5 TESTING ROOM 018
SCALE: 1/4" = 1'-0"



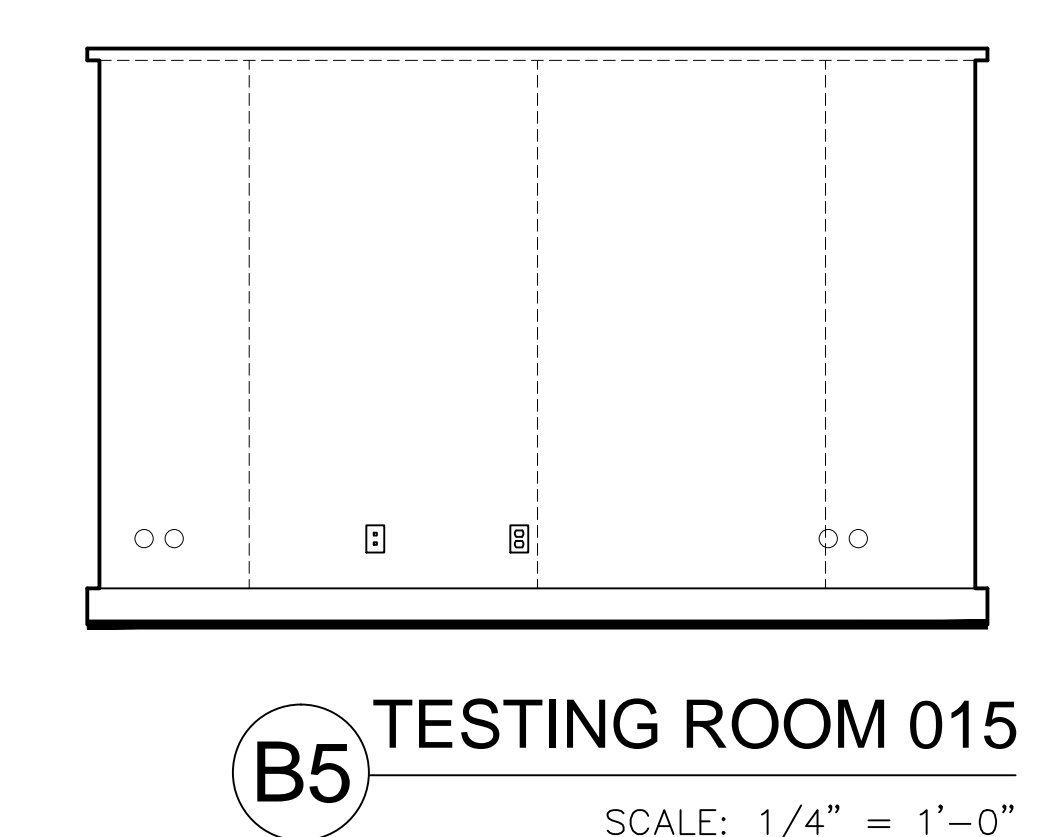
A2 TESTING ROOM 015
SCALE: 1/4" = 1'-0"



A3 TESTING ROOM 015
SCALE: 1/4" = 1'-0"



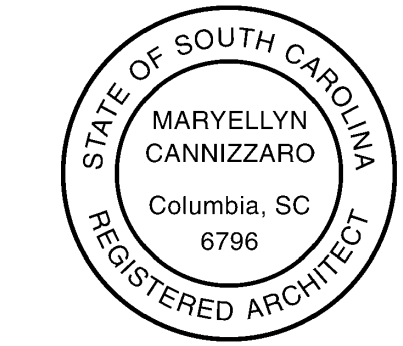
A4 TESTING ROOM 015
SCALE: 1/4" = 1'-0"



B5 TESTING ROOM 015
SCALE: 1/4" = 1'-0"

ACOUSTICAL WALL PANEL NOTE

- DASHED LINES INDICATE THE EXTENTS AND SEAMS OF ACOUSTICAL WALL PANELS. REFER TO ACOUSTICAL WALL PANEL DETAILS - C2/A500.



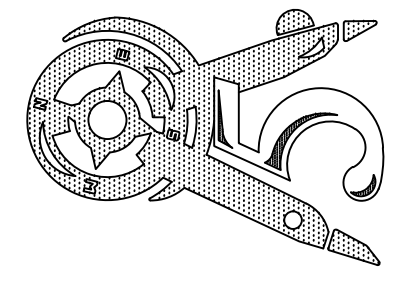
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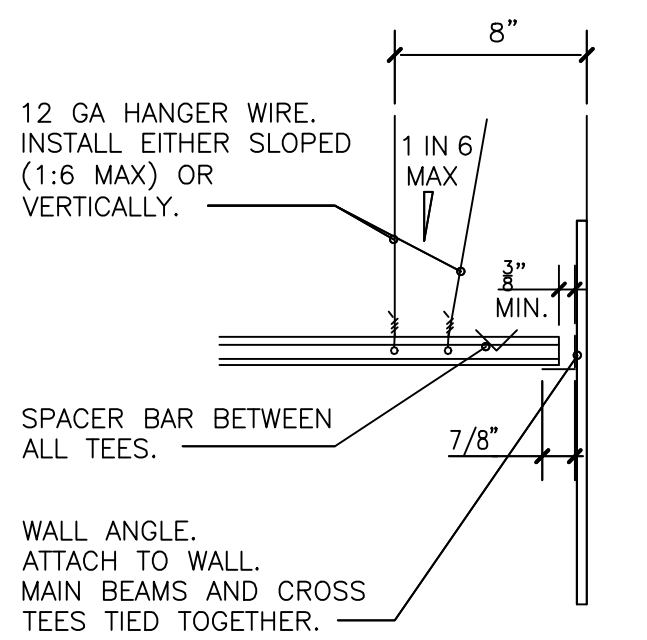
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ENLARGED PLANS AND INTERIOR ELEVATIONS

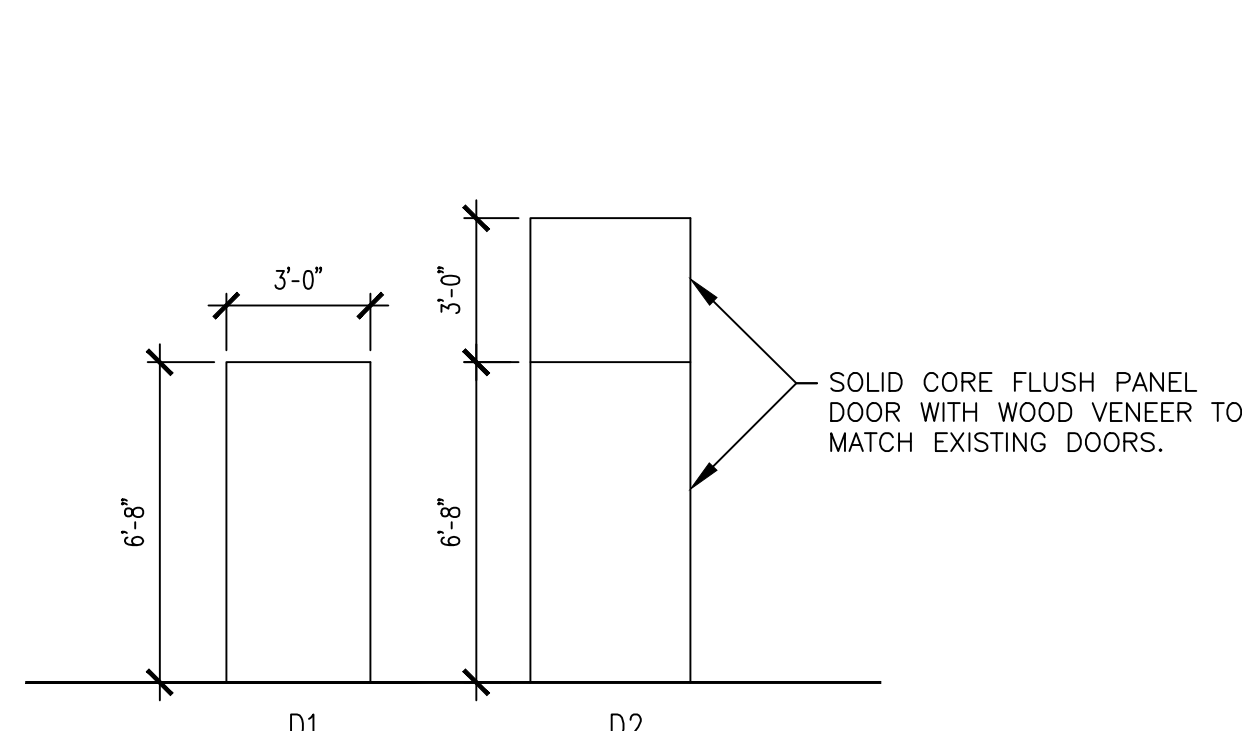
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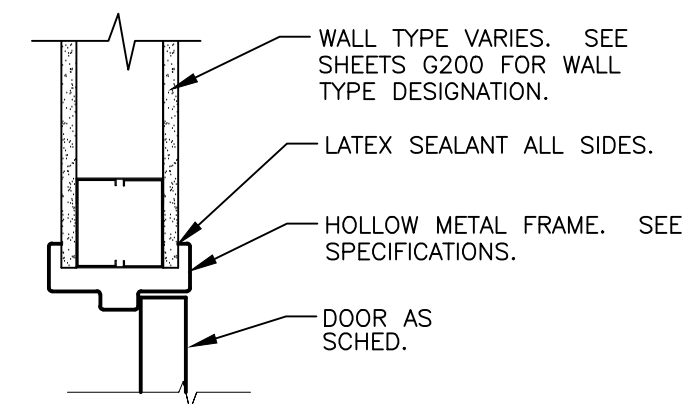




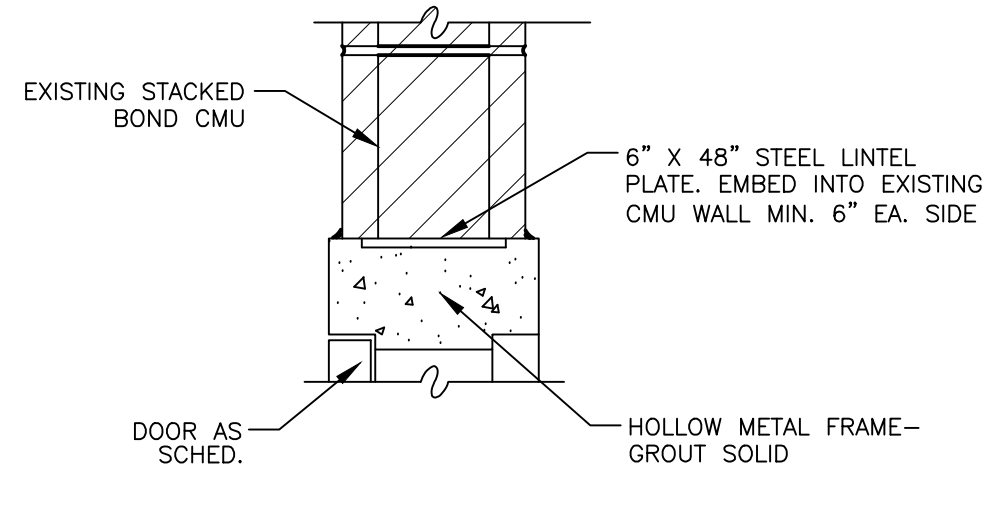
E3 DTL @ 2 ADJACENT WALLS W/ NO ATTACHMENT TO WALL ANGLE PER SEISMIC "C" NOT TO SCALE



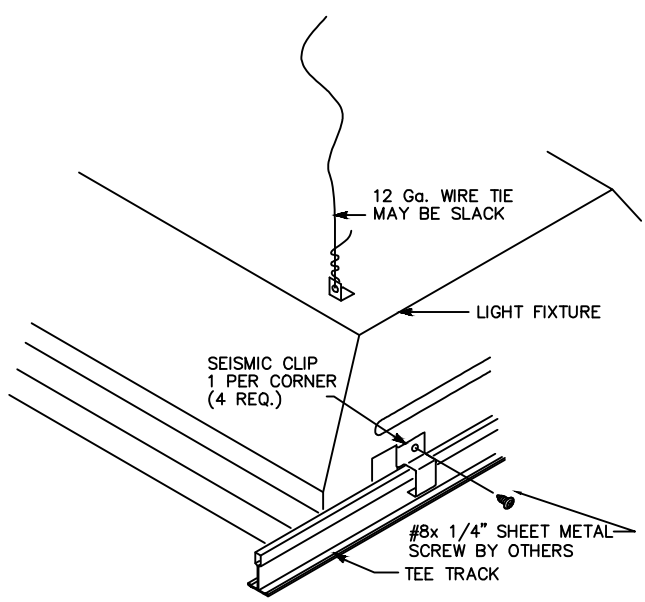
E4 DOOR DETAIL SCALE: 1/4" = 1'-0"



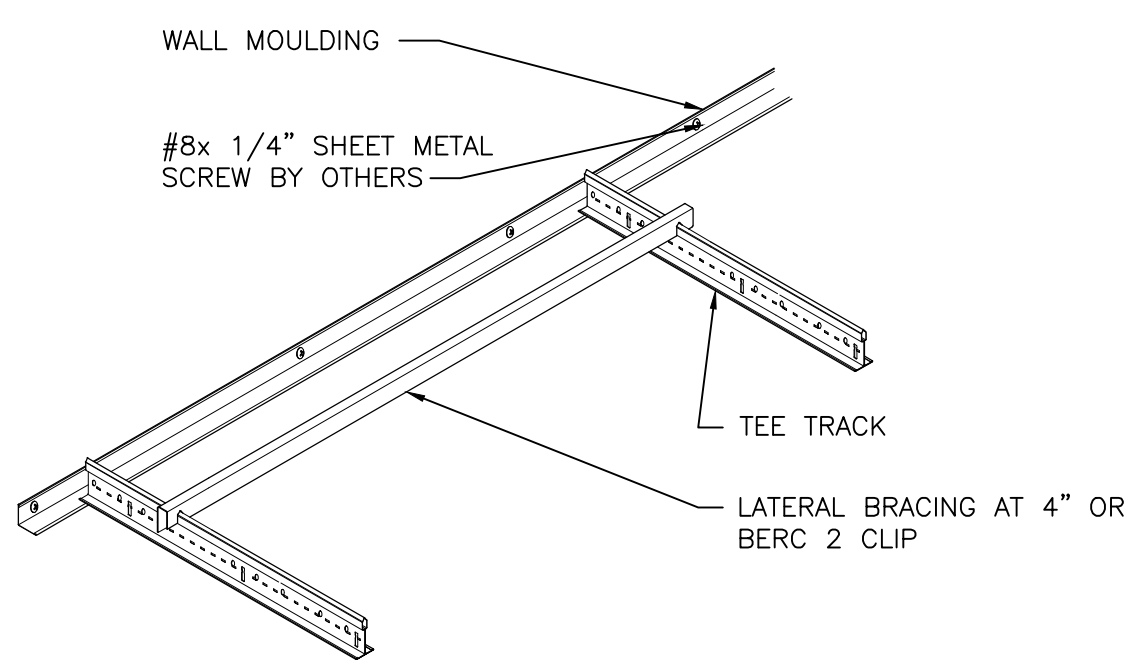
E5 DOOR HEAD DETAIL SCALE: 1 1/2" = 1'-0"



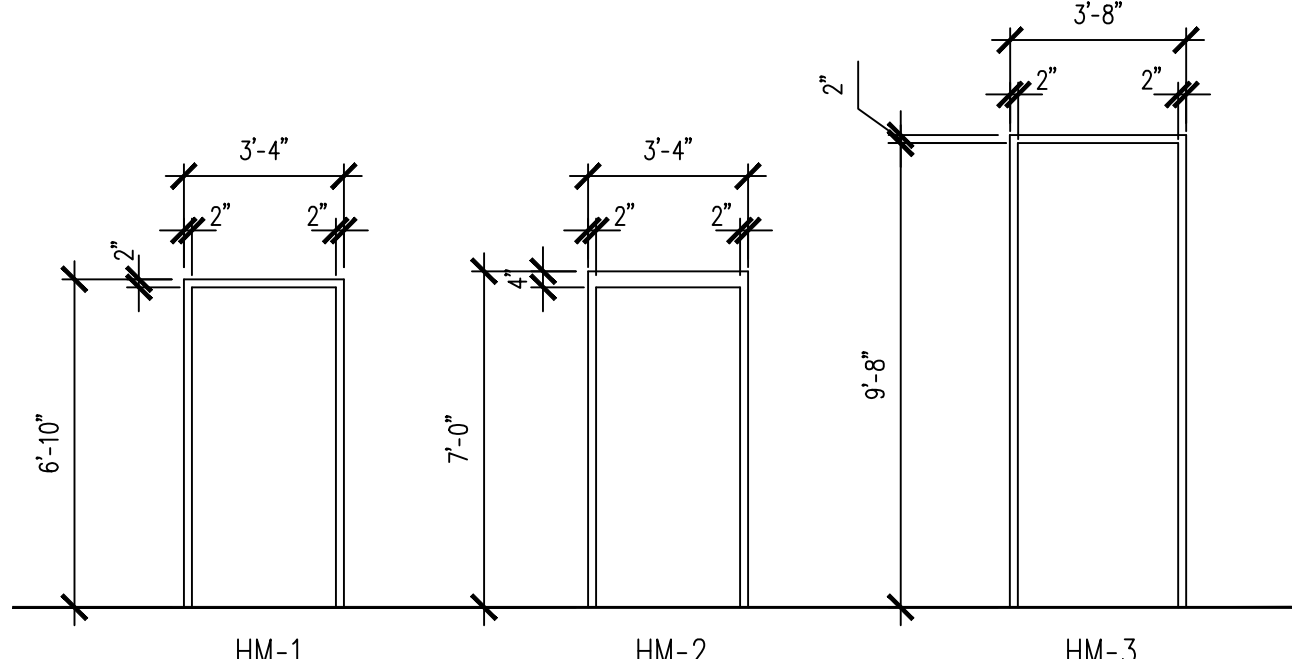
E6 DOOR HEAD DETAIL SCALE: 1 1/2" = 1'-0"



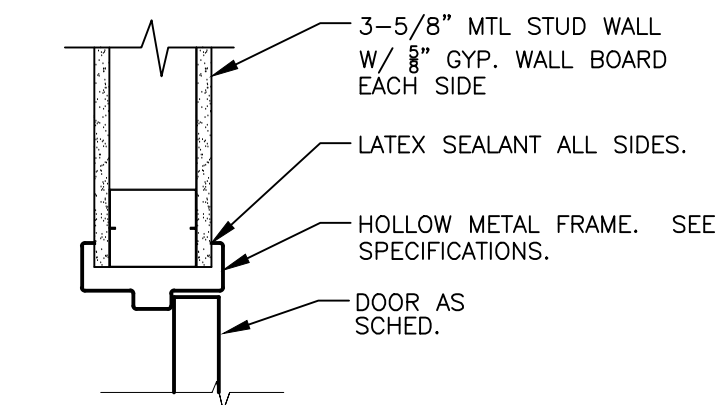
D2 FIXTURE SEISMIC TIE (4 PER FIXTURE) NOT TO SCALE



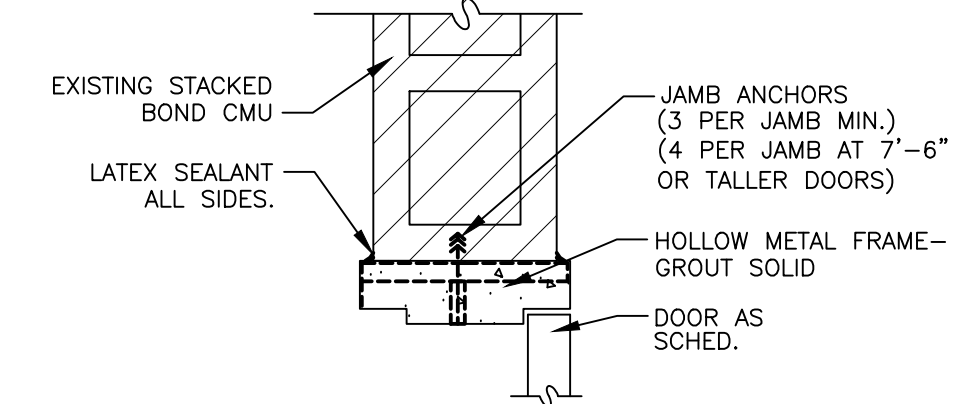
D3 SEISMIC CEILING ASSEMBLY NOT TO SCALE



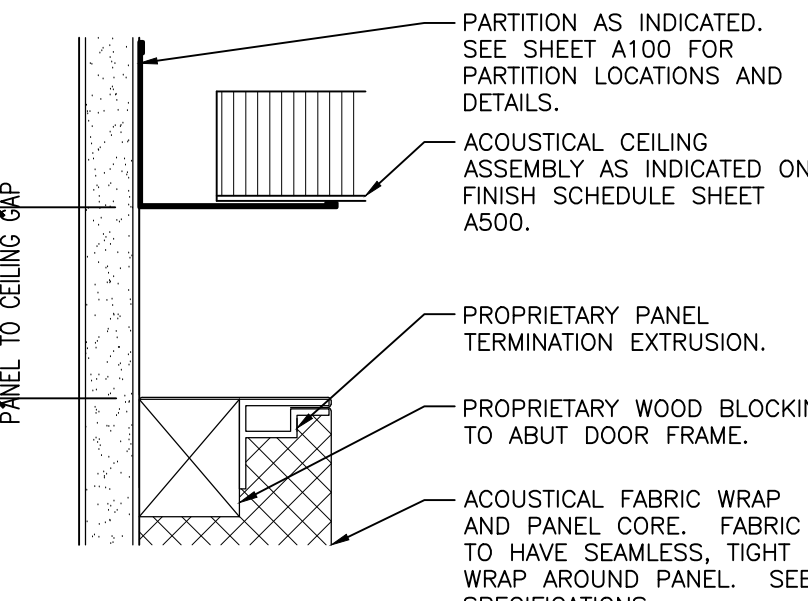
D4 DOOR FRAME DETAILS SCALE: 1/4" = 1'-0"



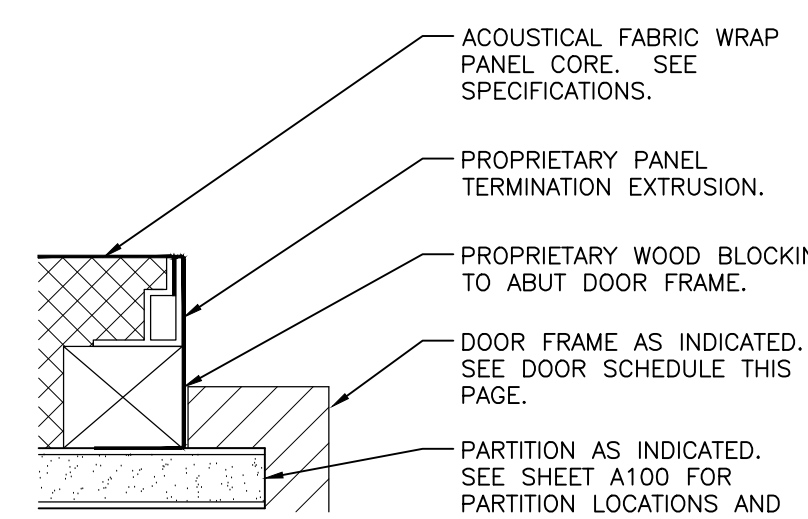
D5 DOOR JAMB DETAIL SCALE: 1 1/2" = 1'-0"



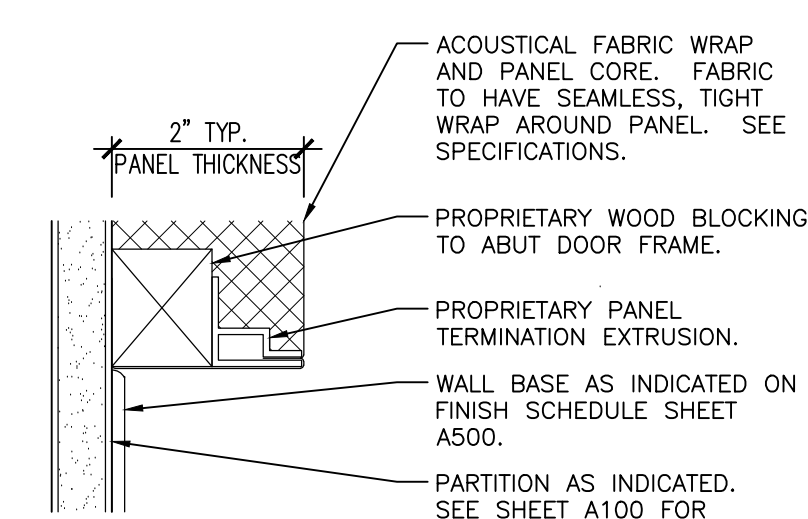
D6 DOOR JAMB DETAIL SCALE: 1 1/2" = 1'-0"



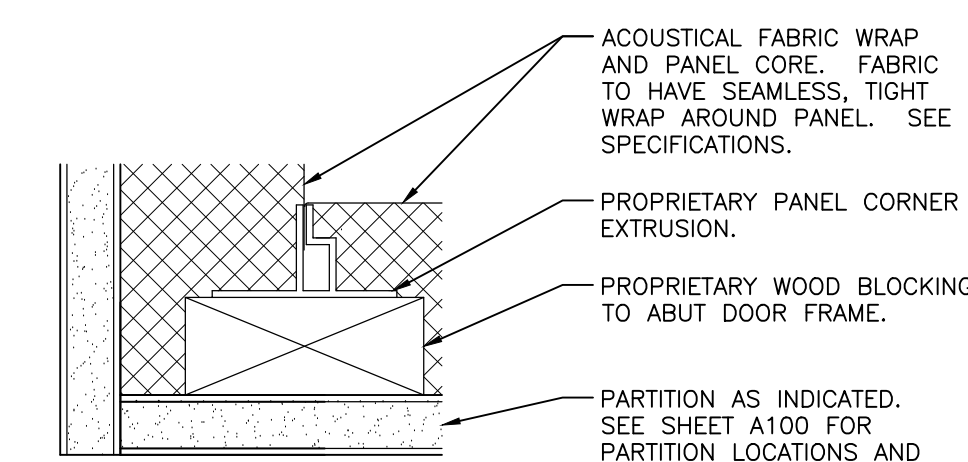
C2 ACOUSTICAL WALL PANEL DETAILS



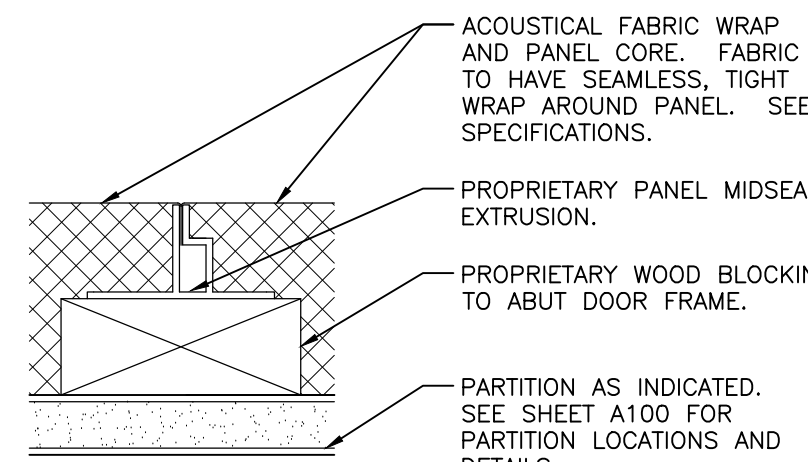
D3 DOOR JAMB



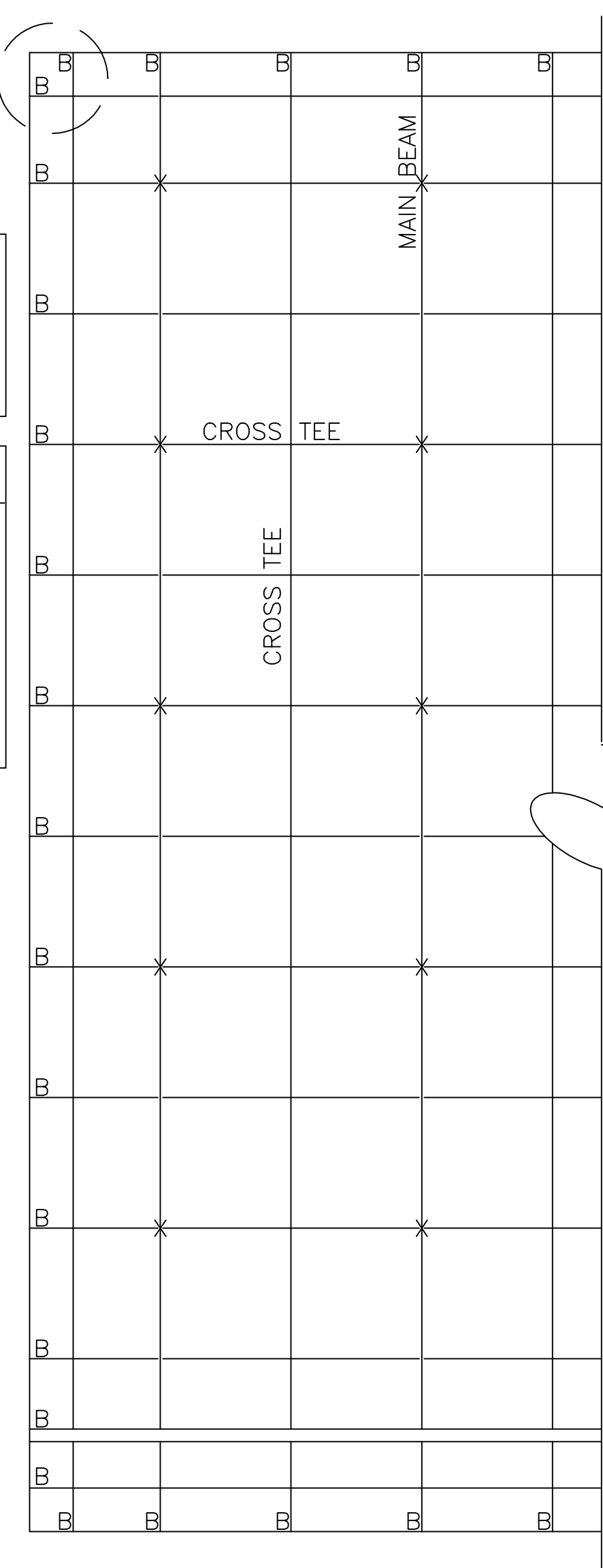
D4 WALL BASE



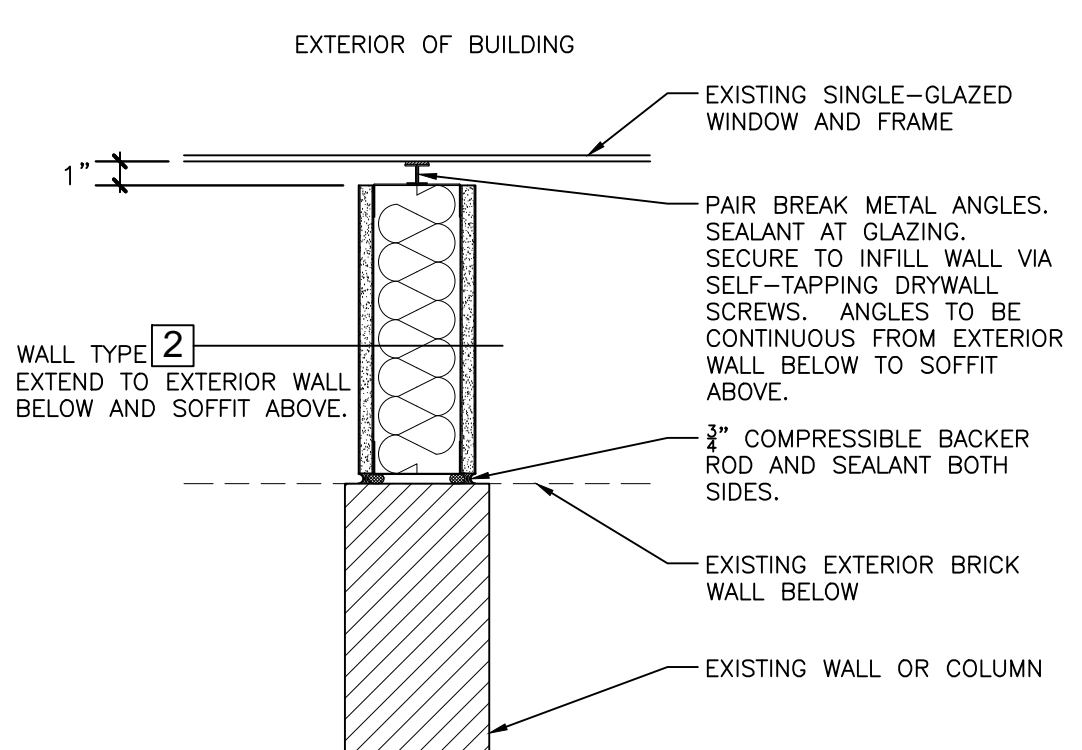
D5 INSIDE CORNER



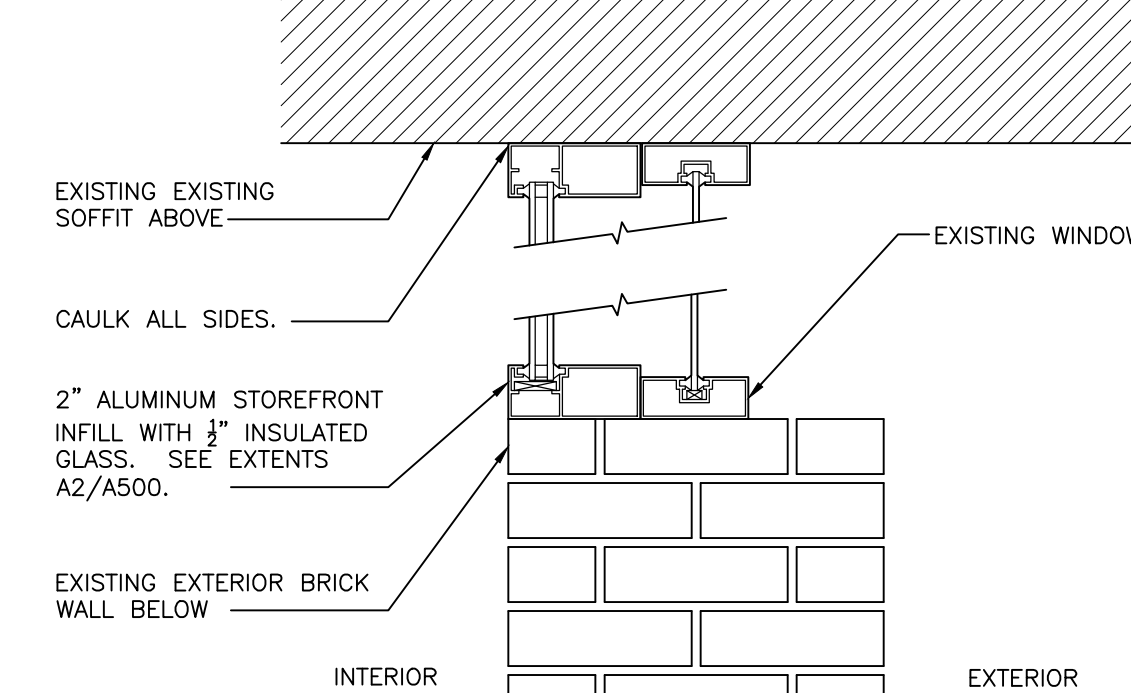
D6 MIDSEAM



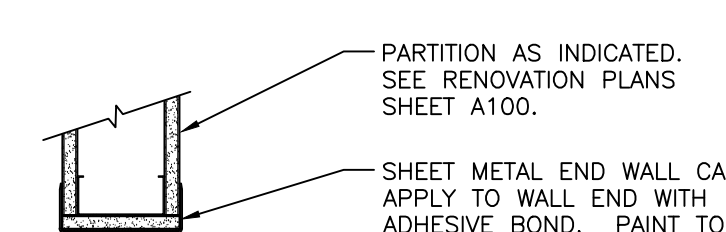
A1 SEISMIC CEILING ASSEMBLY NOT TO SCALE



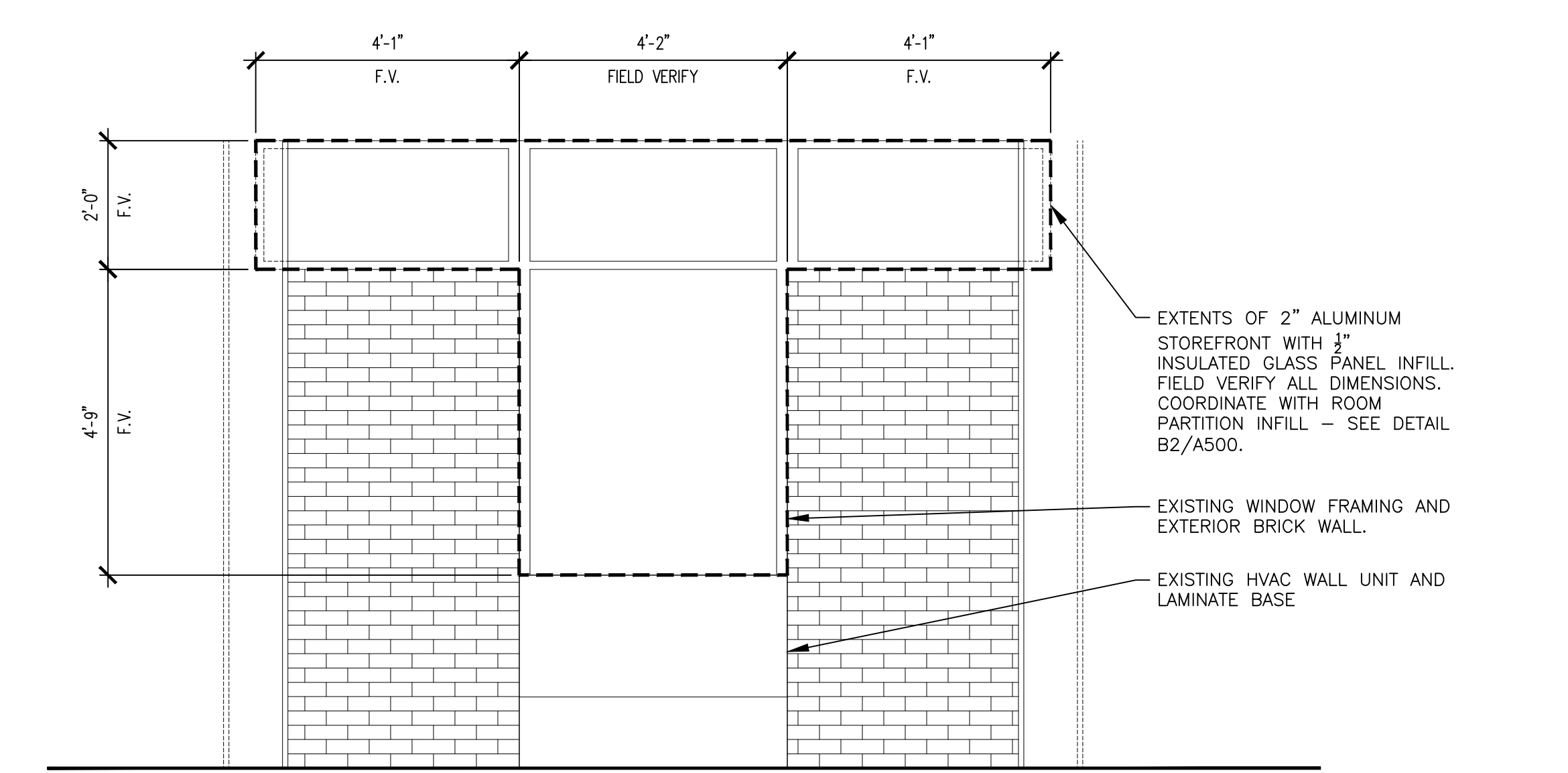
B2 PARTITION INFILL PLAN DETAIL SCALE: NOT TO SCALE



B3 STOREFRONT INFILL PLAN DETAIL SCALE: NOT TO SCALE



B4 END WALL @ WINDOW DETAIL SCALE: NOT TO SCALE



A2 STOREFRONT INFILL DETAIL SCALE: 1/2" = 1'-0"

DOOR SCHEDULE							
DOOR	SIZE	TYPE	MATERIAL	FRAME	RATING	HARDWARE	NOTES
H001.2	3'-0" x 6'-8"	D1	WD	HM-1	45	1	
H001.3	3'-0" x 6'-8"	D1	WD	HM-1	45	1	
H003.1	3'-0" x 6'-8"	D1	WD	HM-2	-	1	EXISTING WALL NOT RATED CONSTRUCTION
H003.2	3'-0" x 6'-8"	D1	WD	EXISTING	-	1	EXISTING WALL NOT RATED CONSTRUCTION COORD. W/ EXST STEEL FRAME
013.1	3'-0" x 6'-8"	D1	WD	HM-1	45	1	
015.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
016.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
017.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
018.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
019.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
020.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
023.1	3'-0" x 6'-8"	D1	WD	HM-2	-	1	
024.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
025.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
026.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
027.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
028.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
029.1	3'-0" x 6'-8"	D1	WD	HM-1	-	1	
103.1	3'-0" x 6'-8"	D2	WD	HM-3	-	1	WOOD TRANSOM
104.1	2'-0" x 6'-8"	D2 SIM	WD	HM-3 SIM	-	1	

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REVISIONS

NO.	DESCRIPTION	DATE
FOR BIDDING		07-13-12

CEILING AND DOOR SCHEDULE AND DETAILS

Date: 06-29-12
Drawn: BRB
Checked: MEC

A500

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1329 State Street Cayce, SC 29033
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STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS
COMPASS 5 PARTNERS, LLC
Columbia, SC C-100254

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
MARVELLYN CANNIZZARO
Columbia, SC 6796

University of South Carolina

1800 Gervais Street Renovations - Construction - Phase II
Columbia, SC

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	SF	FLOOR	BASE	WALLS				CEILING	NOTES
					N	E	S	W		
100	RECEPTION/ADMIN		CPT4 (RUGS) EXST UNDER	RB1 (N & E)	-	PT1	PT1	PT1	PT7	P1; P2; P3; W2 CPT4 RUGS THIS ROOM - SEE FINISH PLAN
101	MEETING/WORKROOM		CPT2 CPT3	RB1	PT3 FLR REG	-	-	PT3 FLR REG	PT7 SOFFIT	P1; P2; W1; W2 24" CPT BORDER - SEE FINISH PLAN
102	DATA ANALYSIS		CPT2	RB1	-	PT6	-	PT6	-	L1; P4; W2; W3; W4; W5
103	MEETING		CPT2	RB1	PT6	PT6	-	-	-	L1; W1
104	COPY		CPT2	RB1	-	-	-	PT6	-	-
105	STORAGE		CPT2	RB1	-	-	-	-	-	-
106	OFFICE		CPT2	RB1	-	-	-	-	-	L1; L2; P4; W1; W3
107	OFFICE		CPT2	RB1	-	-	-	-	-	L2; P4; P5 (UPPER CORNER); W1; W3
108	MEETING		CPT2	RB1	PT6	PT6	PT6	PT6	-	DEMO2; W1
109	OFFICE		CPT2	RB1	PT6	PT6	-	PT6	-	L2; P4; W1; W3
110	OFFICE		CPT2	-	-	-	-	-	-	L2; W1; W3; W4
111	OFFICE		CPT2	RB1 (S & E)	-	PT6	-	PT6	-	W1; W3; W4
112	OPEN MEETING		CPT1	RB1	PT5	-	PT1; PT2 @ BOOKCASE	PT1	-	DEMO2; P8
113	OFFICE		CPT2	-	-	-	-	-	-	L2; W1; W3; W4; W6
114	OFFICE		CPT2	-	-	-	-	-	-	L2; W1; W3; W6
115	OPEN MEETING		CPT1	RB1	PT5	PT1	PT1	-	-	DEMO2; P8
116	OFFICE		CPT2	-	-	PT6	-	PT6	-	W3; W4
117	MEETING		CPT2	RB1 TRIM AS REQ	-	-	-	-	-	P7; P9; W2
118	OFFICE		CPT2	RB1 (E)	-	-	-	-	-	D3; L2; W1; W3; W6
119	OFFICE		CPT2	RB1	-	PT6	-	-	-	L2; W1; W3; W6
120	OFFICE		CPT2	RB1 (S & W)	-	PT6	-	PT6	-	L2; P4; P6; W1; W3
121	SUPPLIES		CPT2	RB1	PT6	PT6	PT6	-	-	W1; W4; W6
122	OFFICE		CPT2	RB1 (S & E)	-	-	-	-	-	W3; P4
123	DATA ANALYSIS		CPT2	RB1	PT1	PT1; PT2 (WALL BOX)	PT1	PT1	-	P4; W2-DOOR; W3 24" CPT3 BORDER
124	KITCHEN		EXST	RB1	PT4 SEE NOTE	-	-	-	-	DEMO5; L2 PT4 ABOVE BACKSPLASH & BELOW WALL CABS
125	PRESENTATION/MEETING		CPT2 CPT3	RB1	PT1	PT1; PT2 (WALL BOX)	PT1	VWC1 SEE NOTE	-	L2; P3; P5; W2 (DOOR); W4; W5 VWC1 AT SOFFITS AS SHOWN A501; 24" CPT3 BORD.
126	OFFICE		CPT2	RB1	PT6	PT6	-	-	-	W1; W3
127	OFFICE		CPT2	-	-	-	-	-	-	D3; P7; W1; W3; W4
128	MEETING		CPT2 CPT3	RB1	PT1	PT5	PT1	PT1	PT7 GRID	DEMO2; W1; W4 24" CPT3 BORDER SEE FINISH PLAN
129	OFFICE		CPT2	-	-	PT6	-	-	-	W1; W3; W4
130	STORAGE		CPT2	RB1	PT6	PT6	PT6	PT6	-	W4; W7
131	OFFICE		CPT2	-	-	-	-	-	-	D3; W1; W3; W4
132	OFFICE		VCT2	-	-	PT6	-	-	-	W1; W3; W4; W6
133	OFFICE		CPT2	-	-	-	-	-	-	P6; W1; W3; W4
134	OFFICE		CPT2	RB1 (E & W)	-	PT6	PT6	-	-	W1; W4
135	OFFICE		CPT2	RB1	PT6	PT6	PT6	PT6	-	D2; D3; W1
136	OFFICE		CPT2	RB1 (E, N & W)	-	PT6	-	-	-	D3; W1; W3; W4
137	WOMEN'S TOILET		-	-	-	-	-	-	-	-
138	TOILET		-	-	-	-	-	-	-	-
139	MEN'S TOILET		-	-	-	-	-	-	-	-
140	OFFICE		CPT2	RB1	-	-	-	-	-	W1; W4; W5
141	OFFICE		CPT2	RB1	-	PT6	PT6	PT6	-	W4
H101	HALLWAY		CPT1	RB1	-	-	-	-	-	W2; W5
H102	HALLWAY		CPT1	RB1	-	-	-	-	-	W4; W5; P5
H103	HALLWAY		CPT1	RB1	-	-	-	-	-	W4; W5; P5
H104	HALLWAY		CPT1	RB1	-	-	-	-	-	W4; W5; P5
ST001	STAIR		CPT1 BASEMENT	RB1 BASEMENT	-	PT1 SEE NOTE	-	PT4 SEE NOTE	-	W1; W4 SEE PAINT LOCATIONS A501; STAIR HANDRAILS TO BE PAINTED PT3
ST002	STAIR		CPT1 BASEMENT	RB1 BASEMENT	-	-	-	-	-	STAIR HANDRAILS TO BE PAINTED PT3
X101	VESTIBULE		-	-	-	-	-	-	-	-

ROOM NUMBER	ROOM NAME	SF	FLOOR	BASE	WALLS				CEILING	NOTES
					N	E	S	W		
001	JANITOR		-	-	-	-	-	-	-	-
002	TOILET		VCT1	RB1	-	-	-	-	-	-
003	MECHANICAL		-	-	-	-	-	-	-	-
004	WORKROOM		CPT2	RB1	-	-	PT6	-	-	W4
004A	STUDIO		CPT2	RB1	-	-	-	-	-	-
005	WORKROOM		CPT2	RB1	-	PT6	PT6	-	-	W1; W3; W6
006	BREAKROOM		VCT1	RB1	PT6	-	-	PT4	-	W3; P10
007	MEETING ROOM		CPT2	RB1	-	PT6	-	-	-	W1; W3; W4
008	PSYCHOLINGUISTICS WKRM.		CPT2	RB1	-	-	-	-	-	W2; W3
009	MOBILE EYE TRACKING		CPT2	RB1	-	PT6	-	PT6	-	W1; W3
010	COGNITION WORKROOM		CPT2	RB1	-	PT6	PT6	PT6	-	W1; W3
011	WORKROOM		CPT2	RB1	-	-	-	PT6	-	P4; W3
012	BABY LAB CONTROL ROOM		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	P4; W1; W3; W6 ACT GRID AND PANELS AT EAST WALL ONLY. USE EXISTING SALVAGED PANELS.
013	BABY LAB TESTING		VCT1	RB1	PT1	PT1	PT1	PT1	ACT1	D4; P4; W1; W3
014	BABY RECEIVING & STAGING		CPT2	RB1	PT1	PT1	PT4	PT1	ACT1	ACT GRID AND PANELS AT EAST WALL ONLY. USE EXISTING SALVAGED PANELS.
015	TESTING ROOM		CPT2	RB1	PT1 AWP1	PT1 AWP1	PT1 AWP1	PT1 AWP1	ACT2	-
015A	RECEIVING AREA		CPT2	RB1	PT1	PT4	PT1	PT1	ACT1	-
016	CLEAN ROOM		VCT1	RB1	PT1	PT1	PT1	PT1	ACT1	SS1 AT COUNTER TOP, PL1 AND PL2 AT CASEWORK. SEE A200.
017	CONTROL ROOM		CPT2	RB1	PT1	PT1	PT1	PT1	ACT2	-
018	TESTING ROOM		CPT2	RB1	PT1 AWP1	PT1 AWP1	PT1 AWP1	PT1 AWP1	ACT2	-
019	TESTING ROOM		CPT2	RB1	PT1 AWP1	PT1 AWP1	PT1 AWP1	PT1 AWP1	ACT2	-
020	CONTROL ROOM		CPT2	RB1	PT1	PT1	PT1	PT1	ACT2	-
021	TOILET		VCT1	RB1	PT1	PT1	PT1	PT1	ACT1	-
022	SERVER STAGING		-	RB1	-	-	-	-	-	TOUCH-UP PAINT ON WALLS AS REQUIRED. MATCH COLOR.
022A	IT SERVER ROOM		-	RB1	-	-	-	PT6	-	TOUCH-UP PAINT ON WALLS AS REQUIRED. MATCH COLOR.
023	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
024	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
025	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
026	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
027	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
028	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
029	EYE TRACKING		CPT2	RB1	PT1	PT1	PT1	PT1	ACT1	-
H001	HALLWAY		CPT2	RB1	-	-	-	-	-	SEE ACCENT PAINT LOCATIONS ON FINISH PLANS SHEET A501
H002	HALLWAY		CPT2	RB1	PT2	PT1	PT1	PT1	ACT1	SEE ACCENT PAINT LOCATIONS ON FINISH PLANS SHEET A501
H003	HALLWAY		CPT2	RB1	PT2	PT1	PT1	PT1	ACT1	SEE ACCENT PAINT LOCATIONS ON FINISH PLANS SHEET A501

MATERIALS LEGEND AND NOTES

ALL COLORS AND MATERIALS TO BE RECONFIRMED PRIOR TO DEMOLITION

PAINTING AND WALLS - P

- PREP AND PAINT FLOOR REGISTERS AT WINDOW WALLS. FERROUS METAL PAINT. (PT-3)
- PATCH AND PAINT PLASTER SOFFIT AND CEILING ALONG PERIMETER. CEILING WHITE.
- PREP AND PAINT WINDOW FRAMES COMPLETE. MATCH EXISTING COLOR.
- IN LIMITED LOCATIONS, CLEAN, CAULK AND PAINT WINDOW FRAMES WHERE LOOSE DEBRIS EXISTS.
- CLEAN, REPAIR, AND REGRADE EXISTING WALLPAPER SEAMS.
- PAINT TO MATCH ALL UNPAINTED AREAS ON EXISTING BOOKSHELVES.
- CLEAN AND REMOVE ADHESIVES FROM EXISTING BOOKSHELVES THIS ROOM. EXISTING FINISH TO REMAIN.
- REPAIR, PATCH, AND PREP WALL AS REQUIRED FROM WING WALL DEMOLITION.
- PAINT SHELVING BASE TO MATCH EXISTING. (PT3)
- SECURE BACKSPLASH PANEL TO WALL IN EXISTING LOCATION.

DOORS AND TRIM - D

- CLEAN ANODIZED ALUMINUM DOOR TRIM THROUGHOUT.
- PAINT PREVIOUSLY PAINTED WOOD DOOR FRAME TO MATCH EXISTING.
- PAINT THE CORRIDOR-SIDE FACE OF DOOR TO MATCH EXISTING.
- REMOVE EXISTING CORNER WOOD WALL TRIM AND ADHESIVE.

LAMINATE - L

- REPAIR AND REPLACE EDGE BANDING AT SILL AT EXT. WALL.
- CLEAN EXPOSED FACES AT LAMINATE SILL UNIT.

CLEANING AND WOOD WALLS - W

- REMOVE ALL MOUNTING HOOKS AND NAILS (EXCLUDING DOOR STOPS)
- CLEAN AND OIL ALL EXPOSED EXISTING WOOD OR WOOD PANELING WITH LEMON OIL SOLUTION (FORMBYS PENETRATING LEMON OIL TREATMENT).
- WRAP AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS (VENETIAN AND VERTICAL).
- CLEAN ALL SWITCHES & FACEPLATES EXISTING TO REMAIN.
- SPOT CLEAN WALL COVERING IN LIMITED AREAS.
- REPLACE MISSING SWITCH FACEPLATE TO MATCH EXISTING.
- CLEAN ALL WALL/SHELF SURFACES PRIOR TO PAINTING.

DEMOLITION - DEMO

- NOT USED
- REMOVE WALL COVERING COMPLETE IN AREAS SHOWN. PREP AND PATCH TO RECEIVE FINISH PER FINISH SCHEDULE.
- NOT USED
- NOT USED.
- REMOVE WALL COVERING AT KITCHEN SOFFIT. PREP AND PATCH TO RECEIVE FINISH PER FINISH SCHEDULE.

NOTES:

- ANY CUT, PATCH, DAMAGED OR UNSIGHTLY WALL CONDITION SHALL BE PATCHED AND PAINTED FROM CORNER TO CORNER TO INCLUDE THE ENTIRE WALL
- ANY TIE-IN TO ADJACENT CORRIDOR FINISHES SHALL TIE IN AT LOGICAL JUNCTURES.
- HM FRAMES (EXISTING AND NEW), METAL REGISTERS, AND ADJACENT METAL CASING TO BE PT3. TYP. TWO FINISH COATS INTERIOR SEMI-GLOSS ACRYLIC ENAMEL OVER INTERIOR FERROUS METAL PRIMER. CONFIRM WITH ARCHITECT.
- CLEAR ANODIZED ALUMINUM FRAMES & TRIM TO BE CLEANED. NO PAINT ON ALUMINUM TRIMS.
- ALL NEW GWB SURFACES TO RECEIVE INTERIOR GWB PRIMER #45 & TWO COATS INTERIOR EGG SHELL ACRYLIC MPI #139.
- ALL FINISHES TO BE COORD. WITH OWNER AND ARCHITECT IN A FINISHES COORDINATION MEETING PRIOR TO DEMO.
- EXISTING PAINTED WOOD TRIM AND FRAMES TO BE PAINTED WHERE NOTED. CONFIRM WITH ARCHITECT.

CARPET

CPT1: BENTLEY PRINCE ST. - BROADLOOM - ROAD SIDE ATTRACTIONS - 8RD300630R - SHIELD'S DATE FARM - 802148
 CPT2: BENTLEY PRINCE ST. - BROADLOOM - EASY ST. - RAZOR HILL - 8RH200630R - TERIYAKI HUT - 800931
 CPT3: PATCRAFT DESIGN WEAVE - CLOISONNE II - I0132 - AUTUMNAL - 32719
 CPT4: BENTLEY PRINCE ST. - BROADLOOM - OSCAR WORTHY - 40W260620R - CULTURE MONSTER - 442717

PAINT

PT1: LEMON CHIFFON - EGG SHELL - HARMONY LINE (LOW VOC) - SW6686
 PT2: COPPER HARBOR - EGG SHELL - HARMONY LINE (LOW VOC) - SW6634
 PT3: MATCH EXISTING DOOR AND DOOR TRIM - FERROUS METAL PAINT ON HOLLOW METAL LOCATIONS
 PT4: CRUSING - EGG SHELL - HARMONY LINE (LOW VOC) - SW6782
 PT5: LEAP FROG - EGG SHELL - HARMONY LINE (LOW VOC) - SW6431
 PT6: MATCH EXISTING WALL COLOR
 PT7: CEILING WHITE

VINYL WALL COVERING

VWC1: MAHARAM - COBBLE 395540 - #007 VELLUM
 VWC2: MAHARAM - SARI 399426 - #006 GRASS

VINYL COMPOSITION TILE

VCT1: ARMSTRONG STANDARD EXCELOX 51830 COTTAGE TAN 12X12
 VCT2: MANNINGTON NATURE'S PATH SELECT - PRINCETON CHERRY 12169 - NATURAL 3'X4"

WALL BASE

RB1: JOHNSONITE 6" WALL BASE 63 BURNT UMBER B

ACOUSTICAL WALL PANELING

AWP1: NOVOWALL MULTIHIGH FABRIC WALL SYSTEM - 2" - XOREL STRIE - COLOR TBD BY ARCHITECT

SOLID SURFACE

SS1: CORIAN - LINEN

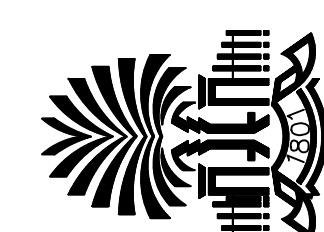
PLASTIC LAMINATE

PL1: WILSON ART 4944-38 CASUAL LINEN

ACOUSTICAL CEILING


ACT1: USG - RADAR CLIMA PLUS 2210 / USG 1/4" DX/DXL INT. DUTY (BASIS OF DESIGN)
 ACT2: ACOUSTICAL SURFACES - dBA PANELS - SOUND SILENCER WITH USG 1/4" ALL ALUMINUM GRID

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University of South Carolina

1800 Gervais Street Renovations - Construction - Phase II
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MARVELLA CANNIZZARO
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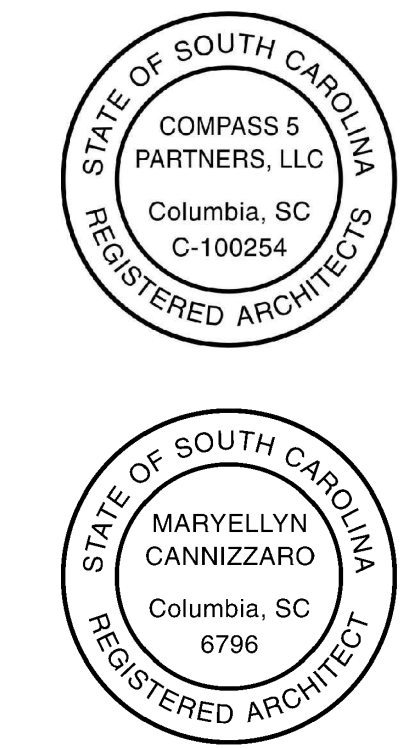
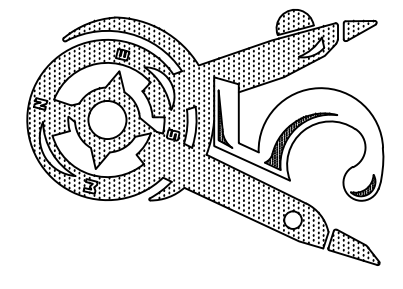
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FOR BIDDING 07-13-12

FINISH SCHEDULE

Date: 06-29-12
 Drawn: BRB
 Checked: MEC

A501



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 Date: 06-29-12
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LEGEND

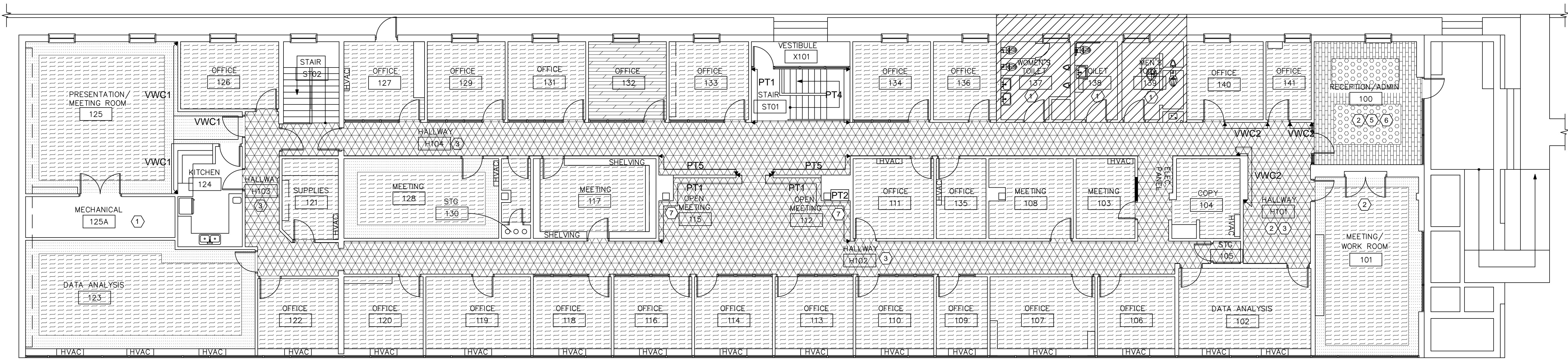
	CPT-1		VCT-2
	CPT-2		NO FLOORING
	CPT-3		TILE TO REMAIN
	CPT-4		NOT IN CONTRACT
	VCT-1		

FINISH NOTES

- REFER TO SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISH MATERIALS AND FLOOR PATCHING.
- REFER TO CASEWORK ELEVATIONS FOR CASEWORK FINISHES.
- UNPAINTED BRICK TO REMAIN UNPAINTED IN ALL LOCATIONS. EXISTING PAINTED BRICK TO RECEIVE FINISH AS INDICATED ON FINISH SCHEDULE SHEET A501.
- PROVIDE ALL TRANSITIONS BETWEEN FLOORING MATERIALS. COLOR TO BE SELECTED BY ARCHITECT IF NOT SPECIFIED.
- ALL FLOORING TRANSITIONS OCCUR AT THE CENTERLINE OF ALL DOORS, UNLESS NOTED OTHERWISE.
- SCHLUTER SCHEME 3MM TRANSITION STRIP SHALL BE WHERE VCT ABUTS CARPET OR WHERE CARPET ABUTS TILE. PROVIDE SCHLUTER PRODUCT SO THAT HEIGHT OF TRANSITION STRIP ALIGNS WITH THINNEST ADJACENT FLOOR MATERIAL.
- EXTEND FLOORING UNDER ALL MILLWORK WITH KNEE SPACE OR WHEN UNDERSIDE IS EXPOSED.
- PROVIDE APPROPRIATE HANDICAP ACCESSIBLE THRESHOLDS WHERE FLOOR CHANGES MATERIAL.
- ANY CUT, PATCH, DAMAGED, OR UNSIGHTLY WALL CONDITION SHALL BE PATCHED AND PAINTED FROM "CORNER TO CORNER" TO INCLUDE THE ENTIRE WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ANY TIE-IN TO ADJACENT CORRIDOR FINISHES SHALL TIE-IN AT LOGICAL JUNCTURES.
- COORDINATE PAINTING OF ADJACENT CORRIDOR SIDE FINISHES WITH OWNER AND ARCHITECT.
- CARPET BORDER TO BE 2'-0" CPT-3 (TYP).
- EXISTING VCT, TREADS, RISERS, AND LANDINGS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL FINISHES TO BE COORDINATED WITH OWNER AND ARCHITECT IN A FINISHES COORDINATION MEETING PRIOR TO DEMOLITION.
- TOUCH-UP PAINT ON EXISTING DOORS AND FRAMES AS REQUIRED WITH PT3 (MATCH EXISTING COLOR)

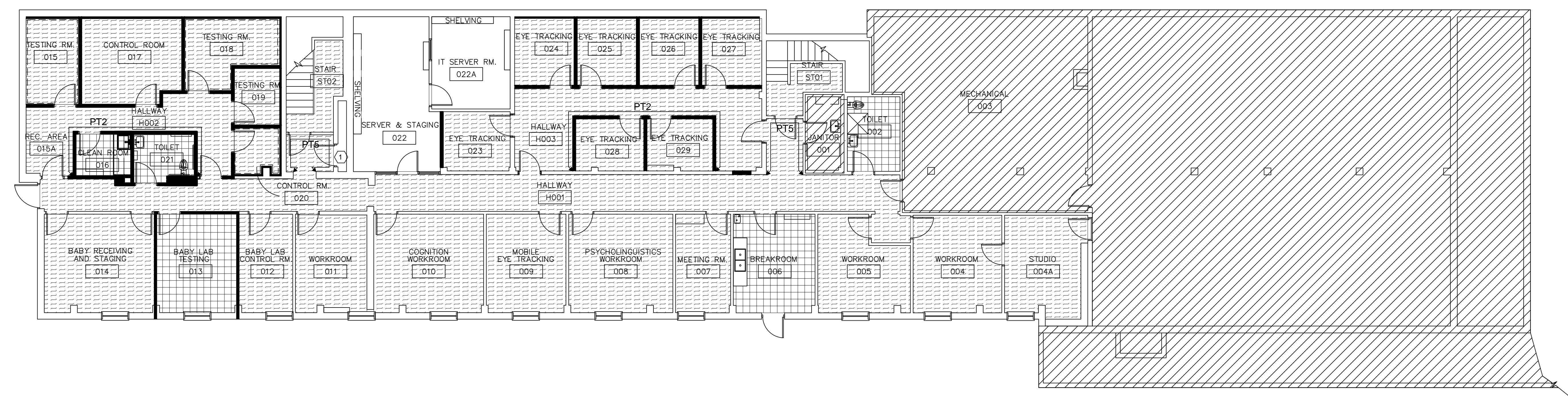
FINISH KEYNOTES

- EXISTING FINISHES TO REMAIN.
- CLEAN AND RECONDITION EXISTING WOOD WALL PANELS TO REMAIN WITH LEMON OIL CLEANER.
- GLUE, PATCH, RE-SEAM AND CLEAN EXISTING WALL COVERING TO REMAIN FOR A CLEAN FINISHED LOOK.
- EXISTING ACOUSTICAL WALL PANELS TO REMAIN. CLEAN AS REQUIRED. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- CLEAN AND SEAL EXIST. CERAMIC FLOOR TILE AND GROUT W/ SANIGLAZE TILE AND GROUT RESTORATION SYSTEM.
- CONFIRM RUG SIZES AND LOCATIONS WITH ARCHITECT.
- CLEAN AND PAINT EXISTING HVAC GRILLES TO MATCH WALL COLOR INDICATED ON FINISH SCHEDULE SHEET A501.



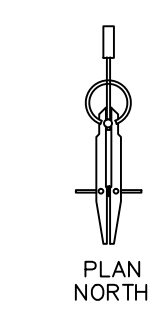
C1 MAIN LEVEL FINISH PLAN

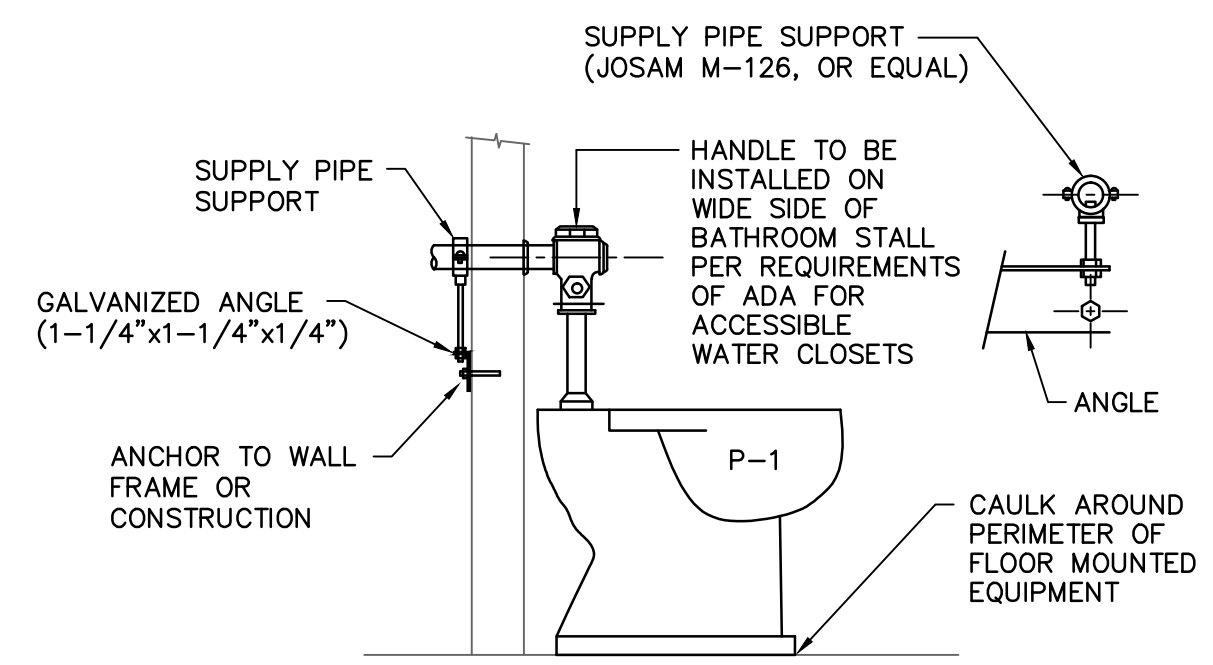
SCALE: 1/8" = 1'-0"



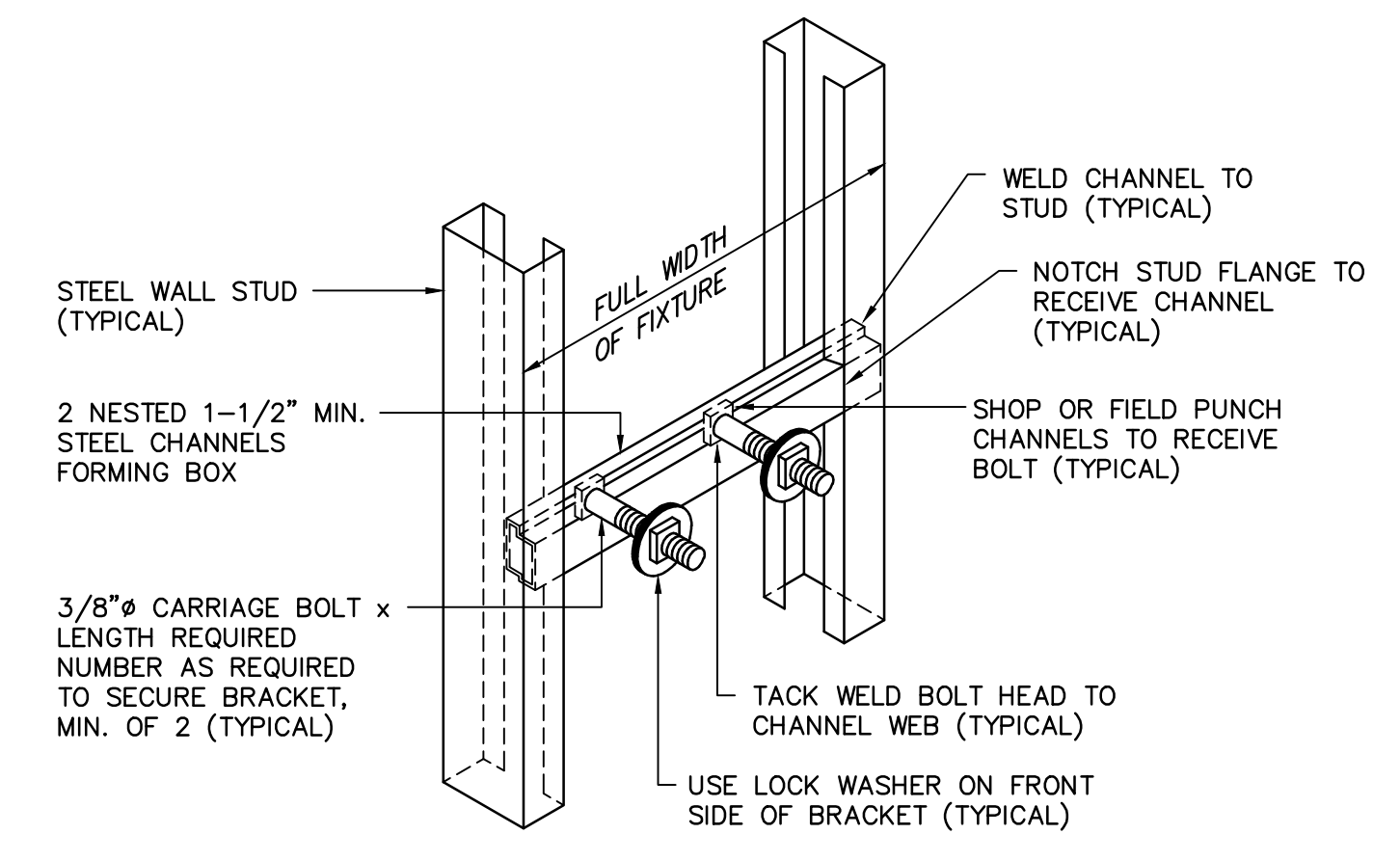
A1 BASEMENT LEVEL FINISH PLAN

SCALE: 1/8" = 1'-0"

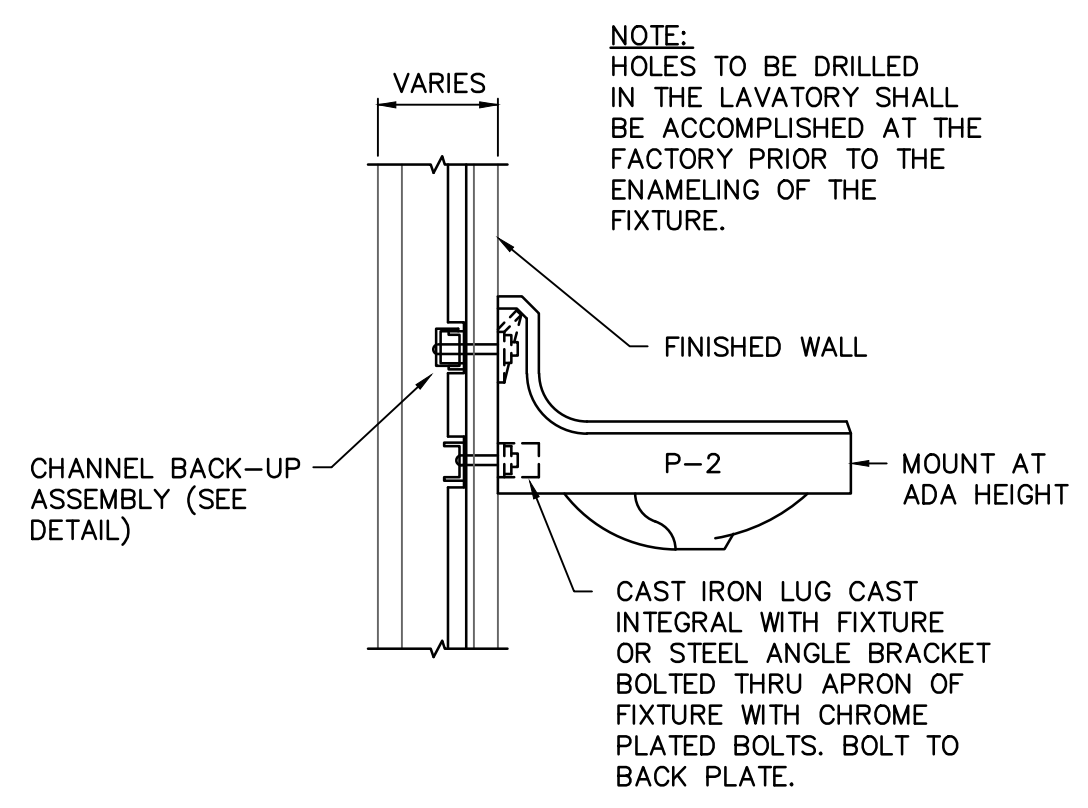




WATER CLOSET SUPPLY DETAIL
NO SCALE



CHANNEL BACK-UP ASSEMBLY
NO SCALE



LAVATORY MOUNTING DETAIL
NO SCALE

PLUMBING FIXTURE SCHEDULE								
P. NO.	FIXTURE	MFR.	NAME	MFRS. NO.	SIZE	MIN. SUPPLY		REMARKS
						CW	HW	
P-1	ACCESSIBLE WATER CLOSET	KOHLER	HIGHCLIFF	K-4368	---	1"	---	WITH SLOAN MODEL 111-XL FLUSH VALVE, BENEKE 523 SEAT, AND BOLT CAPS.
P-2	LAVATORY	KOHLER	KINGSTON	K-2005	21"x18"	3/8"	3/8"	WITH DELTA MODEL 501-WHDF FAUCET, McGUIRE 155A GRID DRAIN, McGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND McGUIRE B872 1-1/4" P-TRAP. MOUNT PER ADA REQUIREMENTS.
P-3	SINK	ELKAY	LUSTERTONE	LRAD-1919-65	19 1/2"x19"	1/2"	1/2"	WITH SPEAKMAN MODEL SC-3004-LD FAUCET, LK-35 CUP STRAINER, McGUIRE H2167 1/2" CAST BRASS SUPPLIES WITH STOPS, AND McGUIRE B912 1-1/2" P-TRAP.

NOTE: SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF ALL WALL MOUNTED FIXTURES.

- NOTES TO SHEET**
- CONNECT TO EXISTING WASTE LINE AT EXISTING FLOOR CLEANOUT LOCATION.
 - CONNECT TO EXISTING WASTE LINE SERVING EXISTING URINAL AT THIS APPROXIMATE LOCATION.
 - RECONNECT TO EXISTING WASTE PIPING. EXISTING VENT PIPING TO BE REUTILIZED.
 - EXTEND VENT PIPING TO EXISTING LINE IN THIS APPROXIMATE LOCATION AND CONNECT.
 - CONNECT TO EXISTING WATER LINE ABOVE CEILING AT THIS APPROXIMATE LOCATION.
 - CONNECT TO EXISTING WATER LINE AT THIS APPROXIMATE LOCATION. WATER LINE TO BE ROUTED TO OPPOSITE SIDE OF FIXTURE AND RAISED TO PROPER HEIGHT.

- DEMOLITION NOTES**
- EXISTING FIXTURE TO BE REMOVED COMPLETELY. REMOVE EXISTING PIPING IN WALL AND CAP BELOW FLOOR OR ABOVE CEILING AS REQUIRED.
 - EXISTING WATER CLOSET TO BE REMOVED. EXISTING PIPING TO BE REUSED FOR NEW FIXTURE. CONTRACTOR WILL HAVE TO TRANSITION PIPING AS REQUIRED.
 - EXISTING FLOOR CLEANOUT TO BE RELOCATED AS SHOWN ON 2/P100.

- GENERAL NOTES**
- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2006 INTERNATIONAL PLUMBING CODE.
 - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
 - EXCEPT WHERE PIPE SPACE IS PROVIDED OR UNLESS NOTED OTHERWISE, ALL SUPPLY, WASTE AND VENT RISERS SHALL BE RUN IN WALLS AND PARTITIONS.
 - COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
 - EXPOSED WASTE AND WATER PIPING UNDER LAVATORIES MARKED "ADA" SHALL BE INSULATED WITH HANDI LAV-GUARD KIT MODEL NUMBER 102W AS MANUFACTURED BY TRUEBRO, INC., OR APPROVED EQUAL.
 - ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.
 - SUBMIT ALL EQUIPMENT AND PRODUCTS PROPOSED TO BE USED FOR THIS PROJECT PRIOR TO ORDERING. SUBMIT SIX COPIES OF DATA SHEETS TO THE ENGINEER, BOUND IN A SINGLE VOLUME FOR APPROVAL.

SPECIFICATIONS

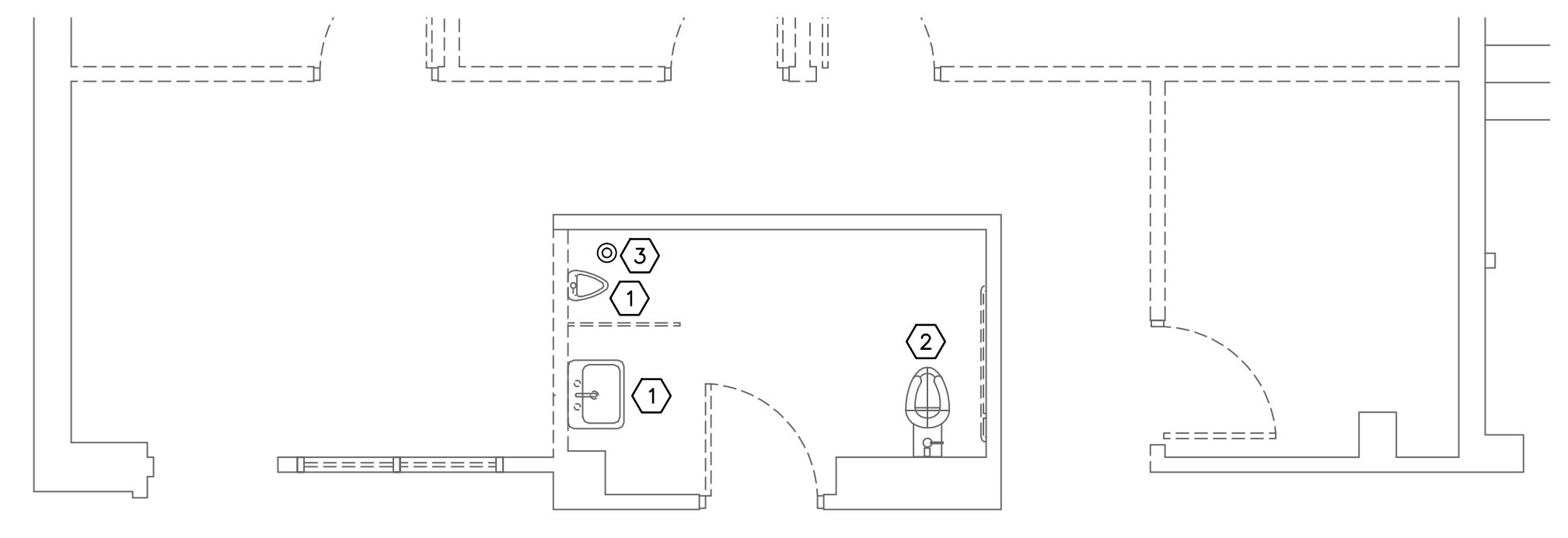
WASTE PIPING:
ALL WASTE PIPING SHALL BE STANDARD WEIGHT BELL AND SPIGOT CAST IRON. ALL JOINTS SHALL BE MADE BY USING NEOPRENE GASKETS BY CHARLOTTE, OR APPROVED EQUAL.

VENT PIPING:
ALL VENT PIPING SHALL BE STANDARD WEIGHT HUBLESS CAST IRON WITH HEAVY DUTY CLAMPS BY HUSKY OR MISSION.

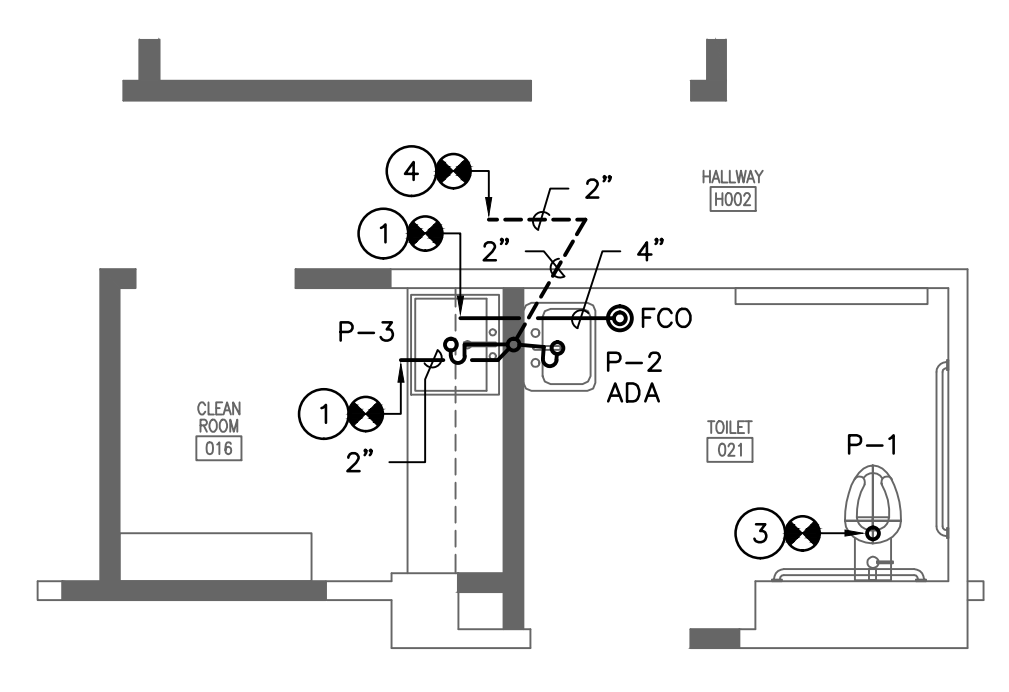
SUPPLY PIPING:
ALL SUPPLY PIPING SHALL BE TYPE L COPPER WITH LEAD FREE JOINTS. INSULATE ALL SUPPLY PIPING WITH 1" THICK FIBERGLASS INSULATION WITH ALL SERVICE JACKET.

LEGEND

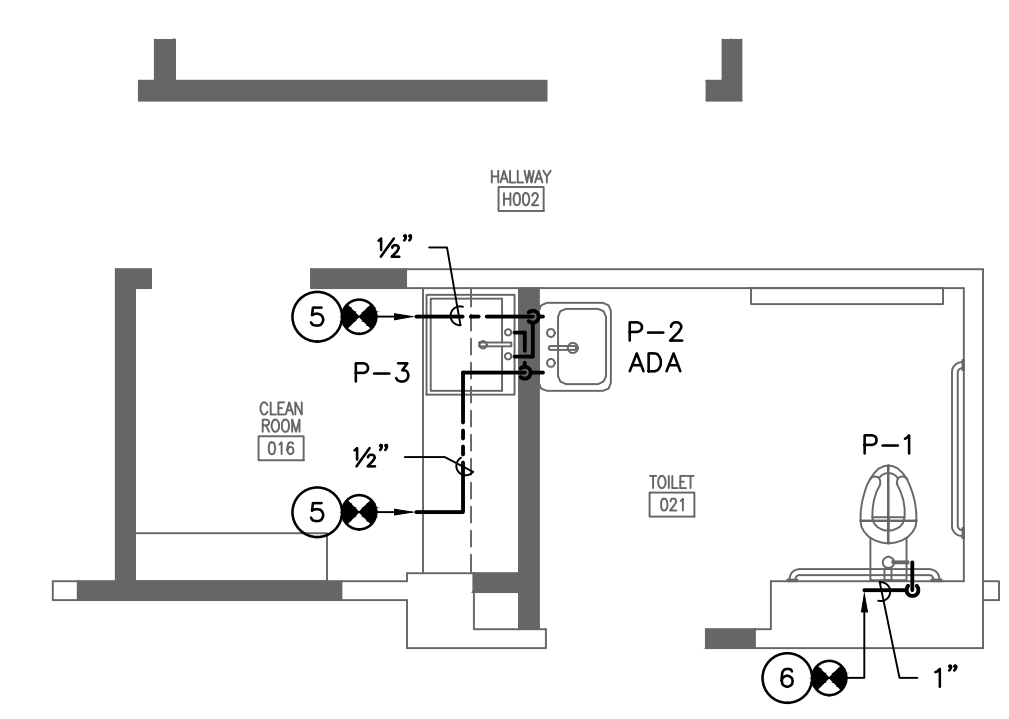
SYMBOL	DESCRIPTION
—○—○—	SANITARY WASTE LINE
—○---○---	SANITARY VENT LINE
—○—○—○—	DOMESTIC COLD WATER LINE
—○—○—○—○—	DOMESTIC HOT WATER LINE
—○—○—○—○—○—	PIPE TURNS TO, AWAY
—○—○—○—○—○—○—	FLOOR CLEANOUT
—○—○—○—○—○—○—○—	FIXTURE FOR USE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT
—○—○—○—○—○—○—○—○—	CONNECTION POINT OF NEW TO EXISTING



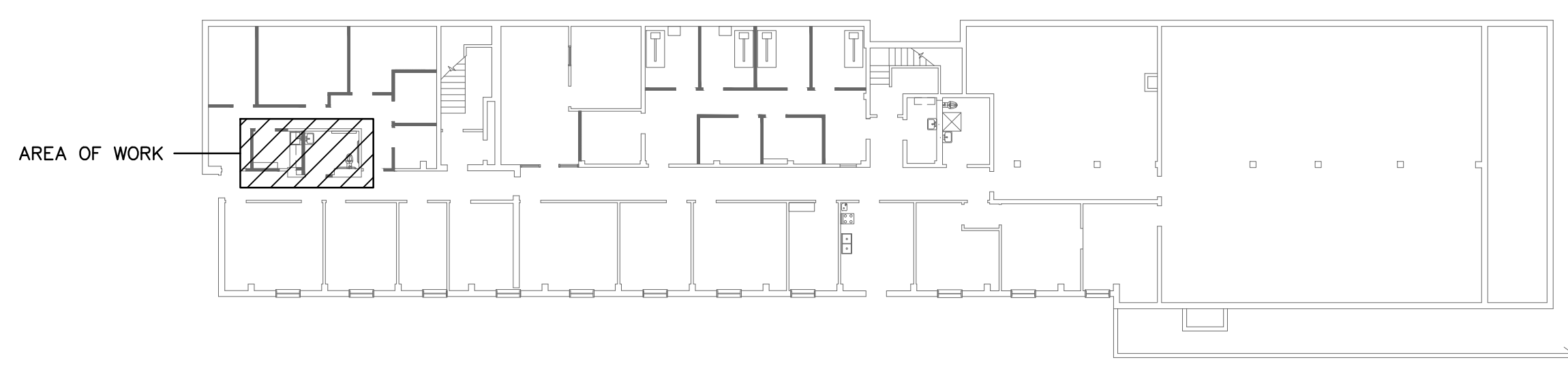
1 PARTIAL BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 WASTE AND VENT PIPING PARTIAL BASEMENT LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SUPPLY PIPING PARTIAL BASEMENT LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

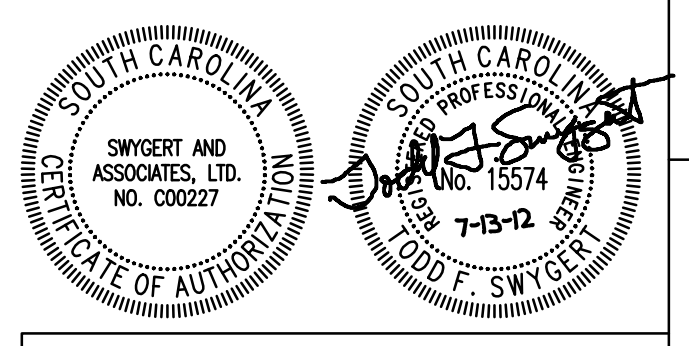


KEY PLAN - BASEMENT
NO SCALE

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University of South Carolina
1800 Gervais Street Renovations - Construction - Phase II
Columbia, SC

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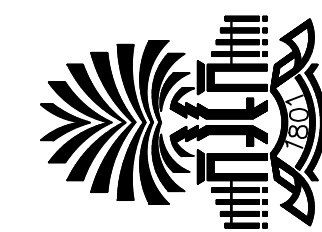
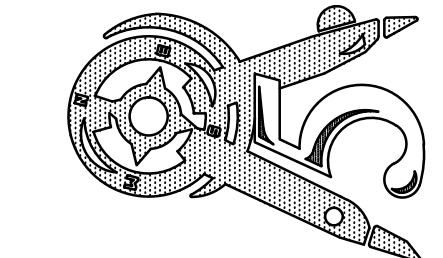


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FLOOR PLANS, NOTES, SCHEDULE, AND LEGEND

Date: 06-29-12
Drawn: DEM
Checked: TFS
P100

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DEMOLITION PLANS

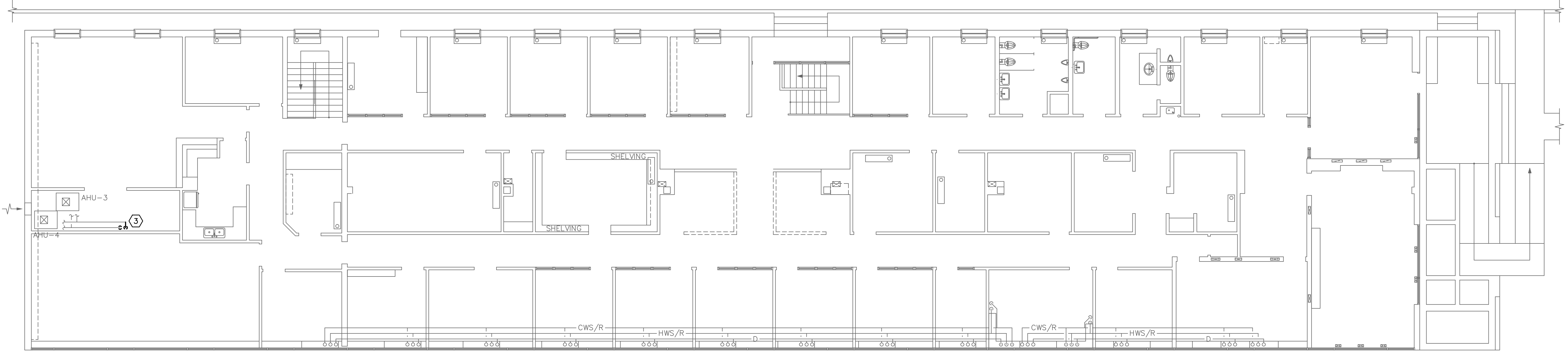
Date: 06-29-12
 Drawn: DEM
 Checked: WCL

MD100

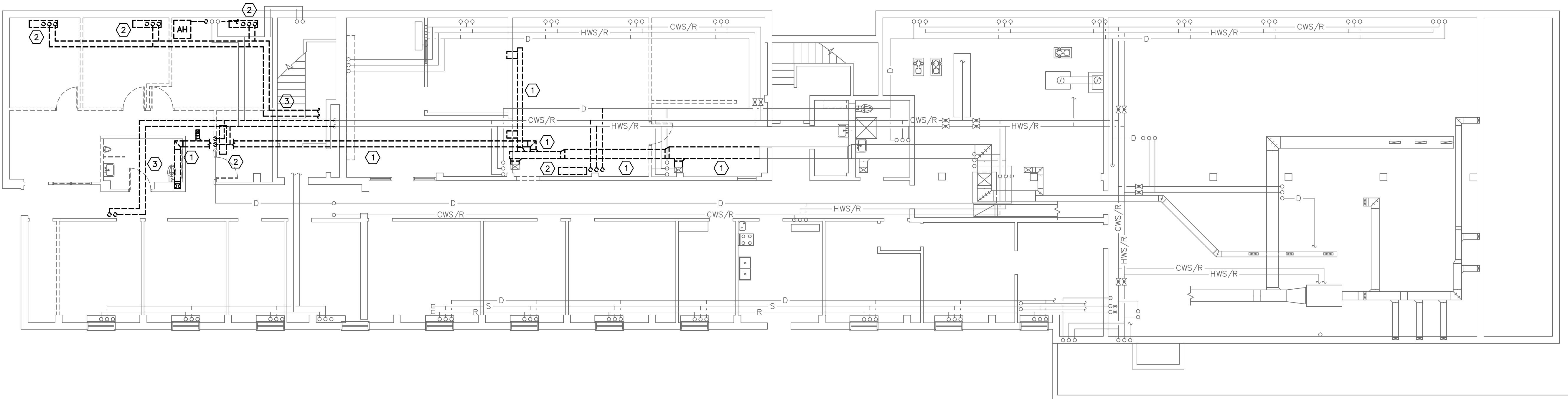
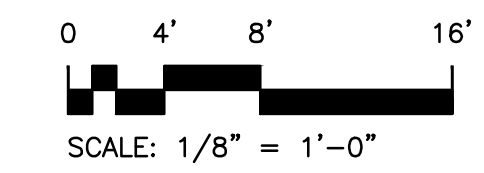
DEMOLITION NOTES

- ① REMOVE ALL DUCTWORK AS SHOWN COMPLETE.
- ② REMOVE FAN COIL, ALL RUNOUT PIPE BACK TO MAIN, CONTROLS, AND WIRING COMPLETE. CAP MAIN PIPES WHEN RUNOUTS ARE REMOVED.
- ③ REMOVE PIPING AS SHOWN, TO REPLACE PIPE AS SHOWN ON 1/M100.

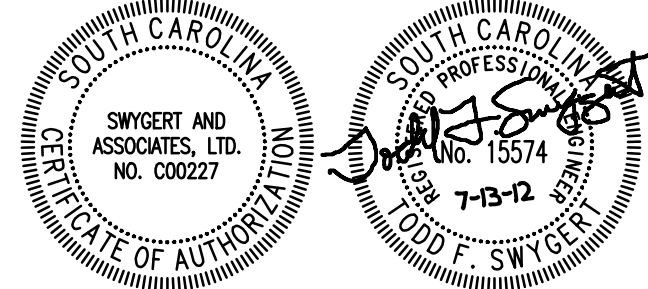
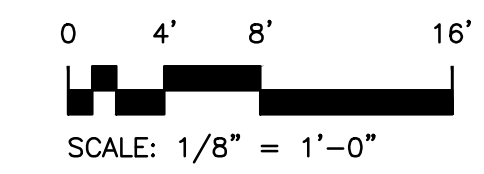
NOTE:
 EXISTING FAN COILS AND
 DUCT TO REMAIN IN
 SERVICE AND MAIN LEVEL.



2 MAIN LEVEL DEMOLITION PLAN
 MD100 SCALE: 1/8" = 1'-0"

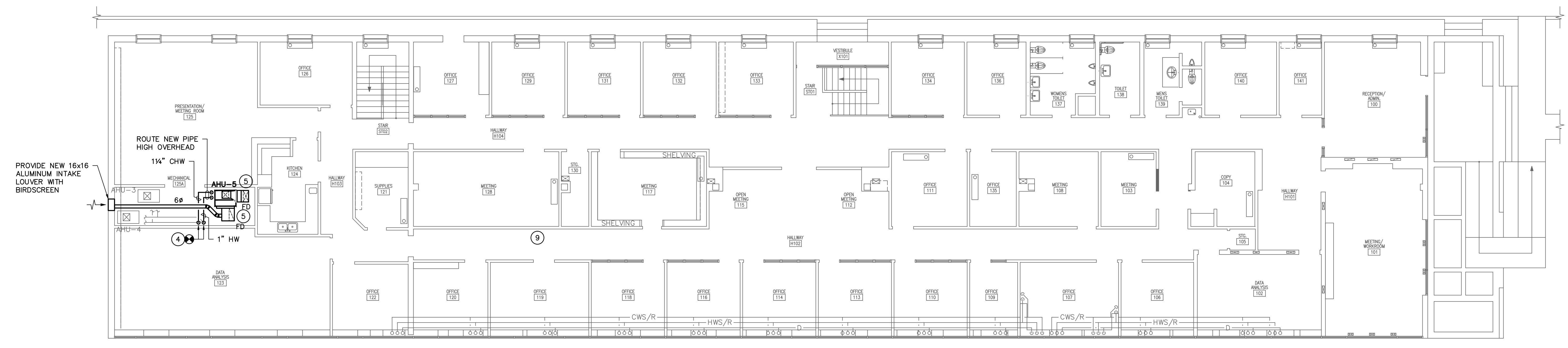


1 BASEMENT LEVEL DEMOLITION PLAN
 MD100 SCALE: 1/8" = 1'-0"

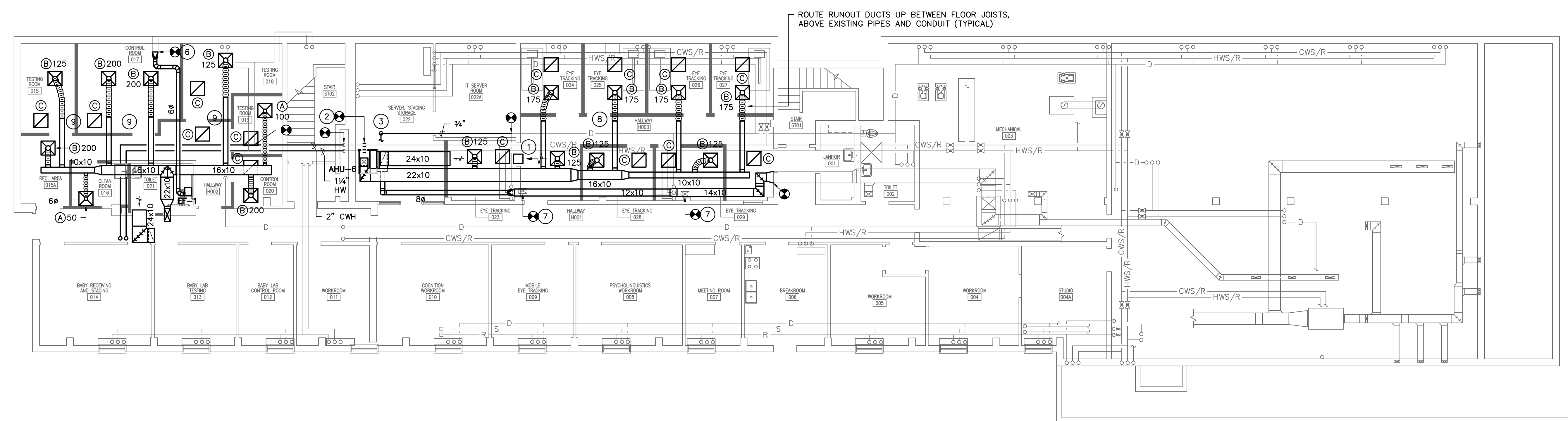


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- NOTES TO SHEET**
- ① 16x8 TRANSFER DUCT ABOVE CEILING.
 - ② 1 1/4" CHILLED WATER AND 1" HOT WATER PIPE DROPS DOWN TO AHU-6.
 - ③ 3/4" DRAIN PUMPED UP TO GRAVITY FALL BACK TO EXISTING OVERHEAD DRAIN.
 - ④ ROUTE NEW PIPE UP THROUGH FLOOR AND FIRE SEAL FLOOR PENETRATION. CONNECT TO EXISTING CHW AND HW PIPES FEEDING AHU-3 AND AHU-4.
 - ⑤ DUCT DROPS DOWN THROUGH FLOOR SLAB WITH FIRE DAMPER AT SLAB. COORDINATE WITH CONCRETE BEAM LOCATIONS.
 - ⑥ EXTEND AND CONNECT EXHAUST DUCT TO EXISTING EXHAUST DUCT IN THIS LOCATION.
 - ⑦ CONNECT RUNOUT DUCT TO EXISTING SUPPLY DUCT BELOW FLOOR SLAB ABOVE.
 - ⑧ ROUTE DUCT UP IN BETWEEN FLOOR JOISTS AS REQUIRED TO COORDINATE WITH EXISTING PIPE. TYPICAL OF ALL RUNOUT DUCTS.
 - ⑨ KEEP DUCT TIGHT TO CONCRETE BRIDGING MEMBER TO MAINTAIN CEILING HEIGHT.



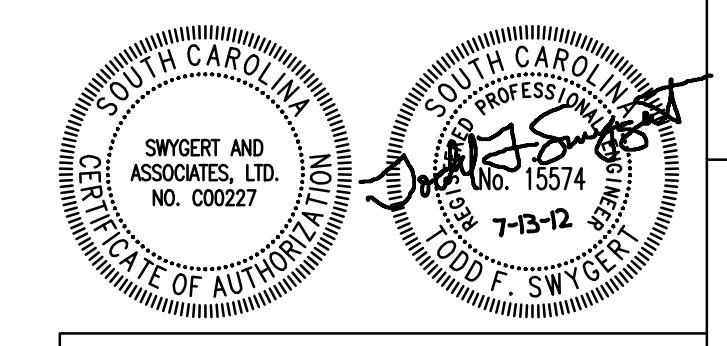
2 MAIN LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'
 SCALE: 1/8" = 1'-0"



1 BASEMENT LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'
 SCALE: 1/8" = 1'-0"

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FLOOR PLANS

Date: 06-29-12
 Drawn: DEM
 Checked: WCL
M100

BLOWER COIL UNIT SCHEDULE (FOUR PIPE)																
TAG	TRANE MODEL NO.	TOTAL CFM	OUTDOOR AIR-CFM	ESP IN. WG	MOTOR H.P.	COOLING COIL				RUN OUTS	HEATING COIL				REMARKS	
						EADB/WB	LADB/WB	GPM	WTR. P.D. FT. WTR.		EADB	LADB	GPM	WTR. P.D. FT. WTR.		
AHU-5	BCVCO36F2	1,200	120	0.5	1/2	74.1/63.2	55.1/53.4	7.0	8.0	1"	70.0	111.2	5.2	23.2	3/4"	1-7
AHU-6	BCVCO36F2	1,200	120	0.5	1/2	74.9/64.5	55.5/54.2	7.7	9.7	1"	70.0	111.2	5.2	23.2	3/4"	1-7

- UNIT SELECTION SHALL INCLUDE 0.20" FILTER LOAD AND 3% BELT AND DRIVE LOSSES.
- ENTERING CHILLED WATER TEMPERATURE SHALL BE 45° AND THE WATER TEMPERATURE RISE SHALL BE 10°.
- ENTERING HOT WATER TEMPERATURE SHALL BE 160° WITH 30° DROP.
- PROVIDE FILTER SECTION WITH TWO INCH MERV 8 FILTERS AND 2 EXTRA SETS OF FILTERS.
- FAN SECTION TO BE INTERNALLY ISOLATED.
- FURNISH MOTOR STARTER AND UNIT MOUNTED DISCONNECT.
- BLOWER COILS TO BE OUTDOOR VERTICAL DRAW THRU. CONFIGURATION SHALL BE FILTER/CW COIL/HW COIL/FAN.

DESIGN CONDITIONS		
SEASON	OUTSIDE	INSIDE
SUMMER	97° FDB / 78° FWB	75° FDB / 50% RH
WINTER	22° FDB	70° FDB

GENERAL NOTES

- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC.
- DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
- ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
- EXISTING PIPE, DUCTWORK, CONDUIT, ETC THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
- WATER SYSTEMS SHALL BE DRAINED AS REQUIRED FOR INSTALLATION OF WORK. UPON COMPLETION, SYSTEM SHALL BE FILLED WITH WATER AND VENTED OF ALL AIR.
- ALL PIPING AND DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH FLOORS, ROOFS AND PARTITIONS.
- ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED AND COUNTERFLASHED.
- ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, THIS CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS, PIPING AND INSULATION FOR ALL OFFSETS AND/OR CHANGES IN ELEVATION.
- EXTEND ALL DRAIN LINES TO NEAREST FLOOR DRAIN OR AS INDICATED - SO ROUTED AS TO AVOID INTERFERENCE WITH PASSAGEWAYS AND MAINTENANCE. DRAINS FROM AIR HANDLING UNITS SHALL BE TRAPPED PER STATIC PRESSURE REQUIREMENTS.
- ALL WATER PIPING SHALL PITCH DOWN IN DIRECTION OF FLOW ONE-INCH PER FIFTY FEET WITH MANUAL AIR VENTS AT ALL HIGH POINTS AND 3/4-INCH DRAIN VALVES WITH STANDARD HOSE CONNECTION AT ALL LOW POINTS.
- ALL VALVES AND SPECIALTIES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE. USE ECCENTRIC REDUCERS ON AUTOMATIC VALVES AS REQUIRED.
- MINIMUM PIPE SIZE SHALL BE 3/4-INCH UNLESS INDICATED OTHERWISE.
- ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS AND FURTHER SUPPORTS OR HANGERS SHALL BE PROVIDED TO PREVENT WEIGHT OF PIPING BEING PLACED ON EQUIPMENT.
- FIRE DAMPERS SHALL BE INSTALLED WHERE SHOWN ON PLANS, IN ALL FIRE PARTITIONS. BLADES SHALL BE LOCATED OUT OF AIRSTREAM.
- SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM WHERE DUCT IS NOT INDICATED ABOVE RETURN AIR GRILLES.
- ALL OPEN END DUCTS SHALL HAVE 1/4-INCH MESH GALVANIZED SCREEN IN REMOVABLE FRAME.
- ALL ITEMS OF EQUIPMENT IN MECHANICAL ROOM AND ON GRADE SHALL BE LOCATED ON REINFORCED CONCRETE FOUNDATIONS. MINIMUM 6-INCH THICK OR AS DETAILED ON THESE PLANS AND SPECIFICATIONS AND 6 INCHES LARGER THAN EQUIPMENT IN EACH DIRECTION. PADS SHALL BE REINFORCED PER THE HOUSEKEEPING PAD SECTION OF THE ASHRAE PRACTICAL GUIDE FOR SEISMIC RESTRAINT. ALL UNITS SHALL BE SECURED TO THE HOUSEKEEPING PADS WITH SEISMIC RESTRAINTS. PROVIDE 1-INCH CHAMFERS ON ALL SIDES.
- PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT.
- THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
- REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY GENERAL CONTRACTOR.
- THIS CONTRACTOR SHALL DO ALL CONTROL WIRING. DIVISION 16 WILL DO ALL POWER WIRING. ALL WIRING SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. CONTROL WIRING SHALL BE CONCEALED WITHIN WALL.
- LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR.
- CORRECT SETTINGS ON ALL BALANCING FITTINGS SHALL BE PERMANENTLY MARKED. PROVIDE ORANGE FLAGGING RIBBON ON EACH DAMPER HANDLE FOR EASY IDENTIFICATION.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
- THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED.

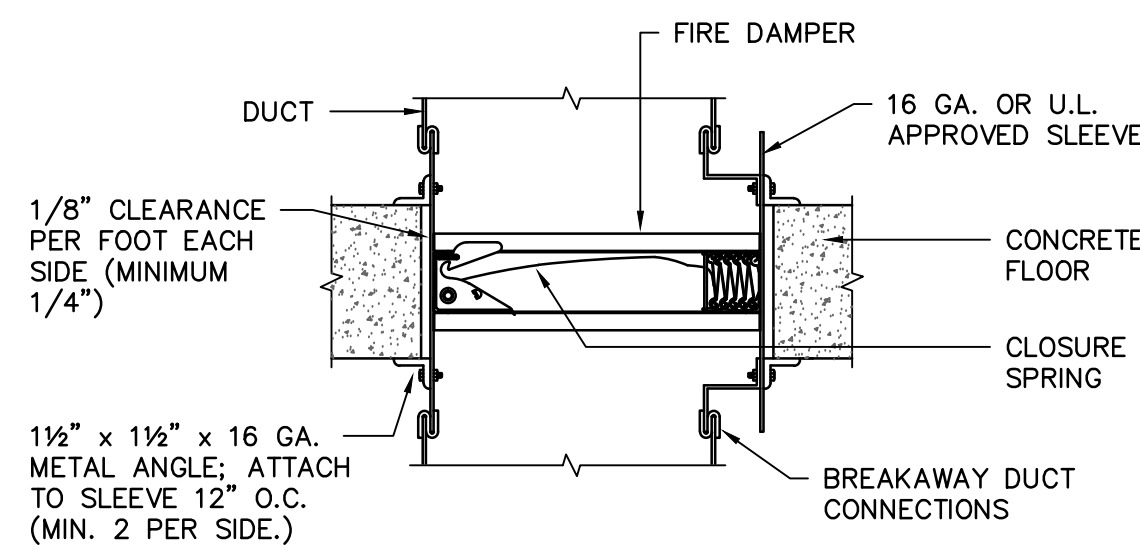
AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
(A)	UNI-FLOW SUPPLY	PRICE	ASPD	LAY-IN	0-125	6"	24"x24"	30	1,2
(B)	UNI-FLOW SUPPLY	PRICE	ASPD	LAY-IN	126-250	8"	24"x24"	30	1,2
(C)	PERFORATED RETURN	PRICE	APDDR	LAY-IN	0-1000	22"x22"	24"x24"	30	1,2

- PROVIDE WITH STANDARD WHITE FINISH.
- PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.

EXHAUST FAN SCHEDULE							
TAG	GREENHECK MODEL NO.	TYPE	CFM	ESP	MOTOR H.P./W	SONES (MAX.)	REMARKS
EF-1	SP-B110	CEILING	75	0.375	80 W.	1.0	1,2

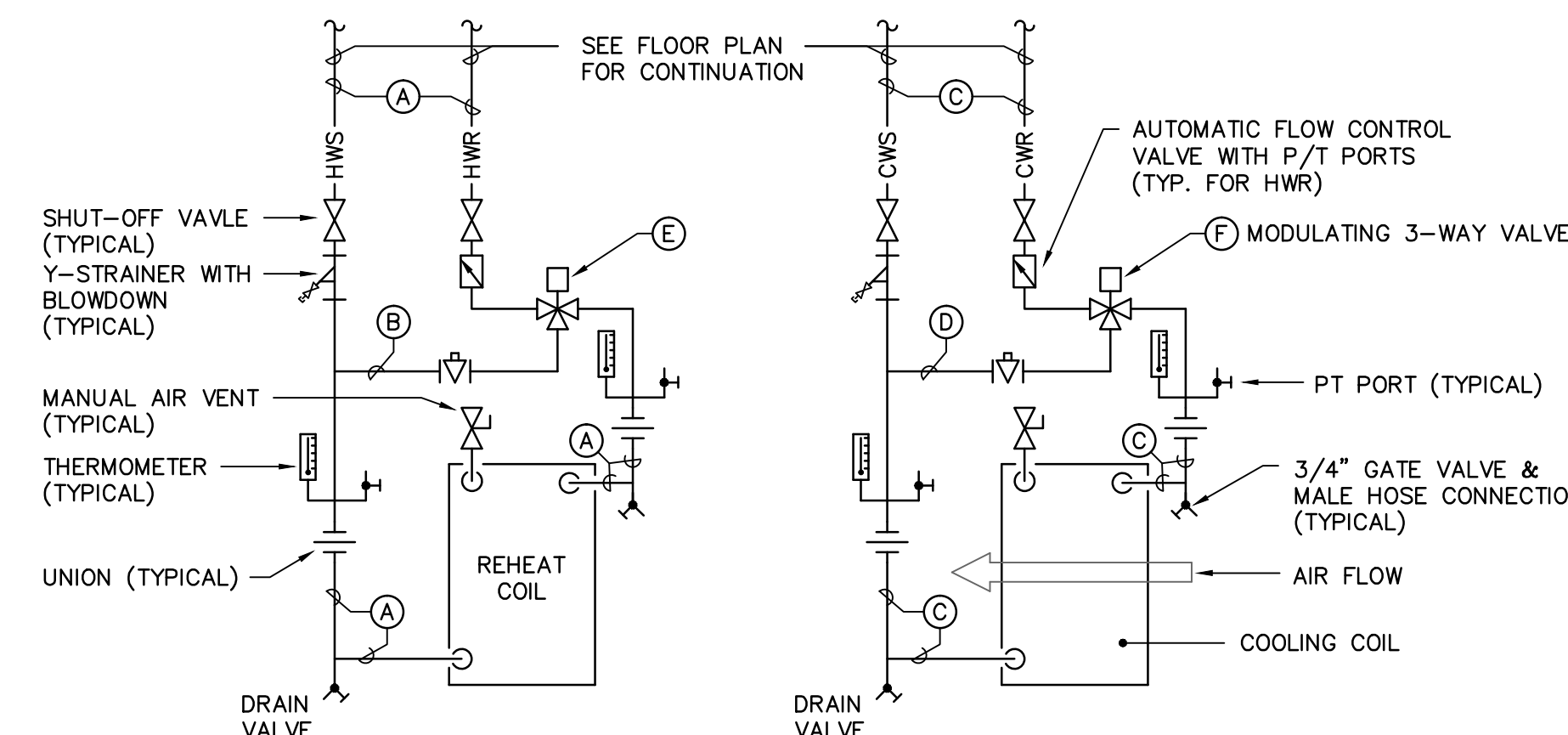
- PROVIDE WITH CEILING GRILLE, BACKDRAFT DAMPER, DISCONNECT SWITCH, AND SPEED CONTROL.
- INTERLOCK WITH LIGHT SWITCH, WIRED BY ELECTRICAL CONTRACTOR.

- ### NOTES:
- PROVIDE FIRE DAMPERS FOR ALL WALLS INDICATED. SEE ARCHITECTURAL DRAWINGS FOR WALL TYPES.
 - PROVIDE DUCT ACCESS DOORS.
 - PROVIDE ALL CEILING, FLOOR, OR WALL ACCESS DOORS NECESSARY FOR ACCESS TO FIRE DAMPERS.
 - INSTALLATION SHALL COMPLY WITH SMACNA, NFPA 90A, 2006 IBC, UL555, AND LOCAL AUTHORITIES.
 - FOR EXTERNALLY WRAPPED DUCT, BLANKET INSULATION SHALL BE INSTALLED OVER ANGLES AND SEALED TO WALL.
 - SLEEVE SHALL BE MANUFACTURED AS AN INTEGRAL PART OF FIRE DAMPER.
 - IN ALL INSTANCES MANUFACTURER'S UL LISTED INSTALLATION INSTRUCTIONS SHALL BE USED FOR DAMPER INSTALLATION.



FIRE DAMPER DETAIL

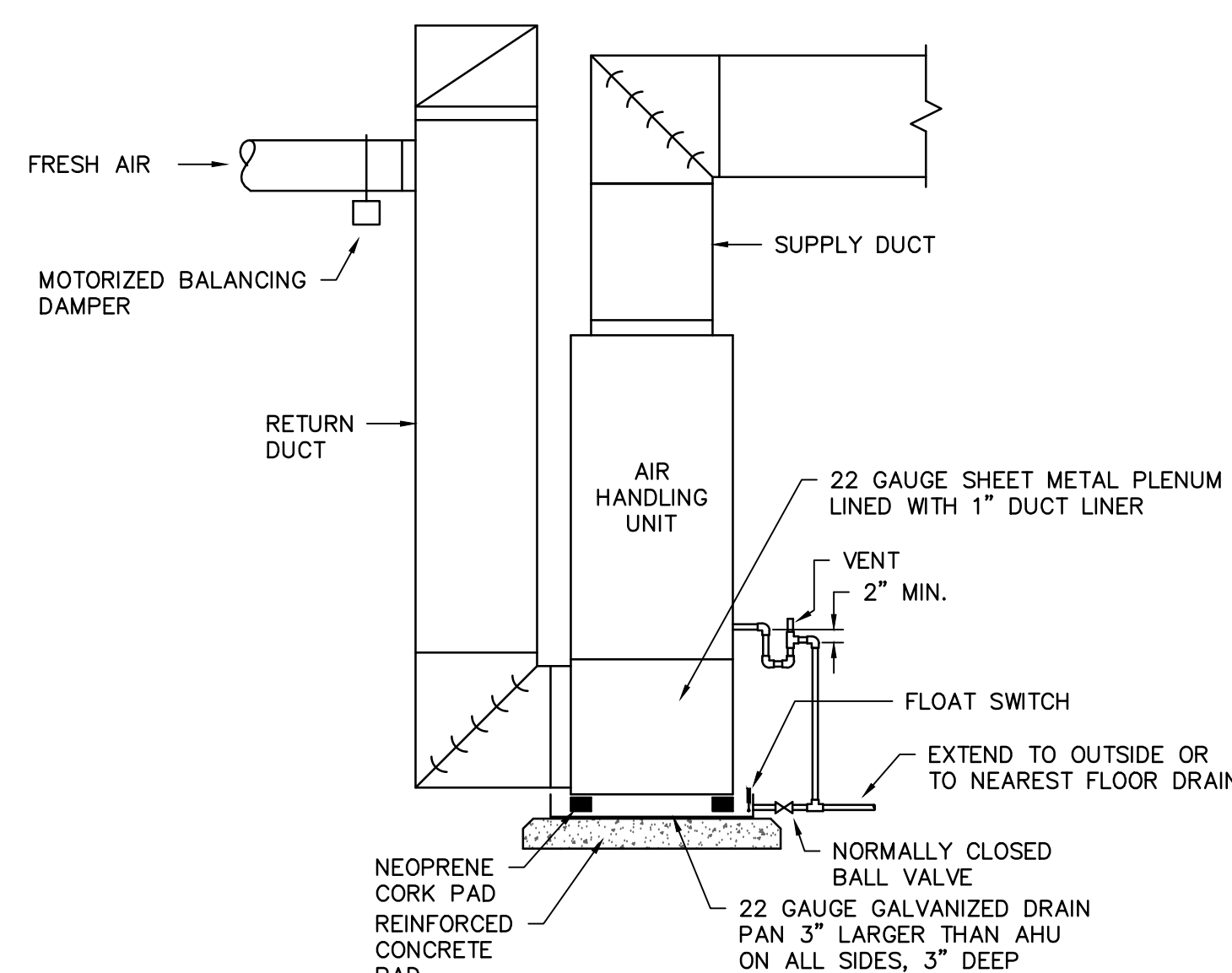
NO SCALE



UNIT NO.	SIZES					
	REHEAT COIL			COOLING COIL		
	(A)	(B)	(E) Cv	(D)	(F) Cv	
AHU-5	3/4"	3/4"	2.5	1"	1"	3.4
AHU-6	3/4"	3/4"	2.5	1"	1"	3.8

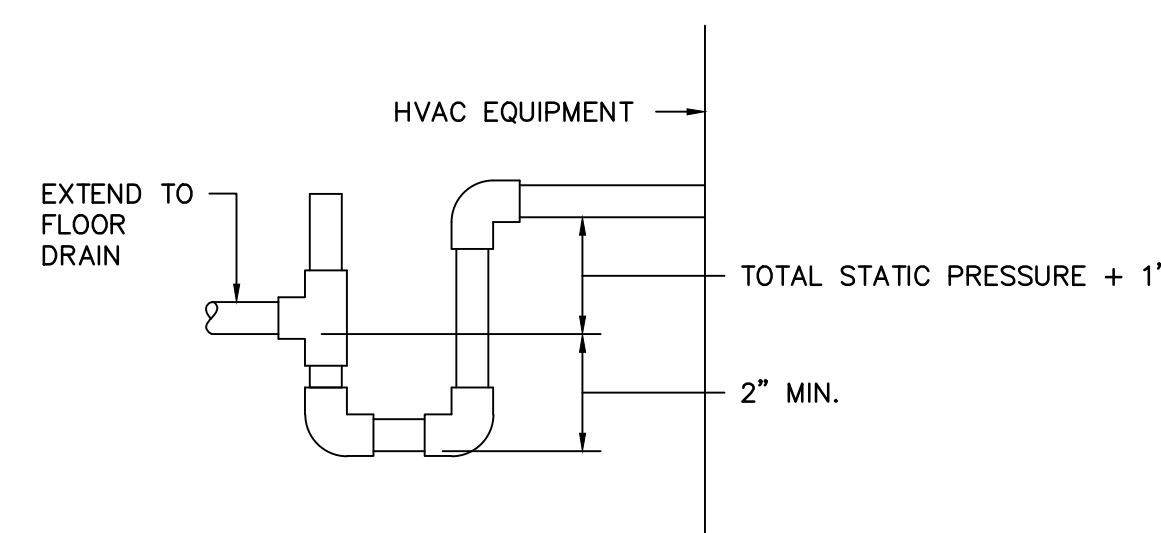
DUAL COIL PIPING DETAIL

NO SCALE



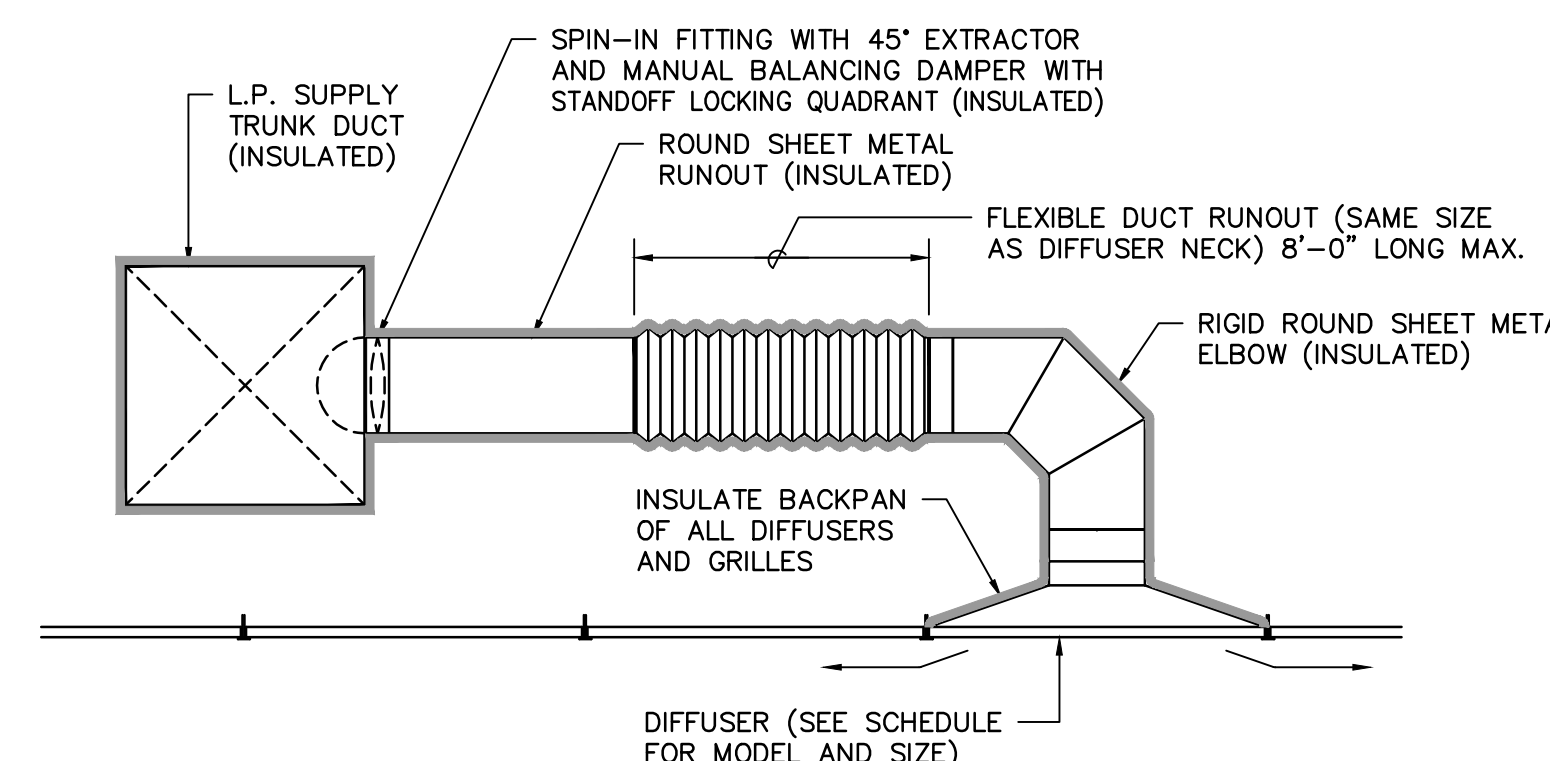
VERTICAL AIR HANDLING UNIT DETAIL

NO SCALE



CONDENSATE DRAIN DETAIL

NO SCALE



CEILING DIFFUSER DETAIL

NO SCALE

LEGEND	
SYMBOL	DESCRIPTION
(A)100	TYPE "A" DIFFUSER, 100 CFM
(T)	THERMOSTAT
FD	FIRE DAMPER
[Symbol]	RECTANGULAR SUPPLY DUCTWORK
[Symbol]	RETURN, EXHAUST, FRESH AIR DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
(C)	CONNECTION POINT OF NEW TO EXISTING

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DETAILS, NOTES, SCHEDULES, AND LEGEND

Date:	06-29-12
Drawn:	DEM
Checked:	WCL

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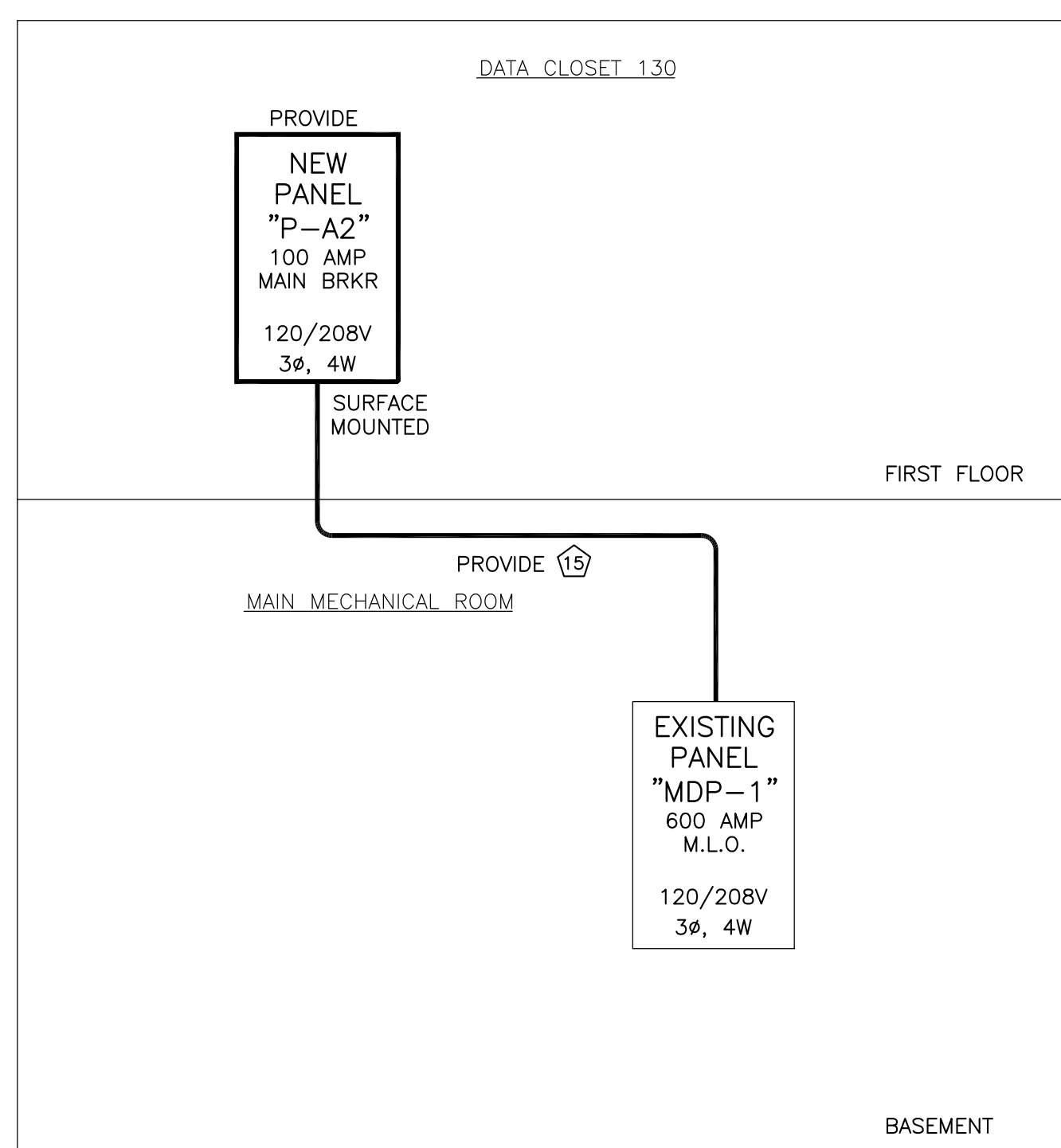
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mail@swygert-associates.com

ELECTRICAL SYMBOL LEGEND	
	20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. (ND = PROVIDE NEW DEVICE IN EXISTING J-BOX)
	20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPASH (GFI = GROUND FAULT INTERRUPTER)
	20 AMP DOUBLE DUPLEX (QUAD) RECEPTACLE, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.
	ELECTRICAL FLOOR BOX MOUNTED FLUSH IN FLOOR, 20 AMP DUPLEX RECEPTACLE AND DATA OUTLETS UNLESS NOTED OTHERWISE.
	20 AMP DUPLEX RECEPTACLE, FLOOR MOUNTED IN "TOMBSTONE" ABOVE FLOOR BOX. (TS = TOMBSTONE TYPE FLOOR BOX)
	DATA J-BOX (CAT6), FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. (NUMBER INDICATES AMOUNT OF DATA JACKS IN DATA OUTLET) (ND = NEW DEVICE IN EXISTING J-BOX)
	TELEPHONE OUTLET, FLUSH MOUNTED (UNLESS DENOTED SM) IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.
	DATA J-BOX (CAT6 CABLING), FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPASH UNLESS NOTED OTHERWISE.
	TELEPHONE OUTLET, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPASH UNLESS NOTED OTHERWISE.
	WI-FI DATA ACCESS POINT MOUNTED ABOVE CEILING TILE. (N.I.C. - FOR OWNERS INFORMATION ONLY).
	JUNCTION BOX, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. FUNCTION AS INDICATED ON PLAN.
	MANUAL PULL STATION, MOUNTED SEMI-FLUSH IN WALL AT 48" T.O.B. (TOP OF BOX)
	AUDIO/VISUAL FIRE ALARM INDICATING DEVICE, MOUNTED SEMI-FLUSH IN WALL AT 96" AFF. (NUMBER INDICATES CANDELA RATING)
	VISUAL-ONLY FIRE ALARM INDICATING DEVICE, MOUNTED SEMI-FLUSH IN WALL AT 96" AFF. (NUMBER INDICATES CANDELA RATING)
	SPOT TYPE SMOKE DETECTOR, CEILING MOUNTED IN CEILING.
	HEAT DETECTOR, CEILING MOUNTED IN CEILING.
	FIRE ALARM ANNUNCIATOR PANEL
	PUBLIC ADDRESS SPEAKER MOUNTED FLUSH IN CEILING.
	A/V SPEAKER J-BOX, WALL MOUNTED 96" AFF
	CARD READER J-BOX, SEMI-FLUSH MOUNTED AT 48" T.O.B. (TOP OF BOX)
	EMERGENCY BATTERY PACK (BODINE #B50) MOUNTED IN FLOURESCENT TROFFERS AS INDICATED ON PLANS.
	CEILING FAN, CEILING MOUNTED.
	EXIT SIGN, WALL OR CEILING MOUNTED AS INDICATED (ARROWS INDICATE DIRECTIONAL CHEVRONS)
	LIGHTING SWITCH, MOUNTED FLUSH IN WALL AT 48" T.O.B. (TOP OF BOX)
	LIGHTING FIXTURES (SEE FIXTURE SCHEDULE ON THIS SHEET)
	CABLE TRAY, STAINLESS STEEL BASKET TYPE (MP HUSKY OR APPROVED EQUAL). WIDTHS AS NOTED ON PLAN.

"E" - DENOTES EXISTING DEVICE TO REMAIN IN PLACE
 "R" - DENOTES EXISTING DEVICE TO BE REMOVED AND DEMOLISHED BY ELECTRICAL CONTRACTOR
 "SM" - DENOTES SURFACE MOUNTED BOX AND DEVICE

LIGHTING FIXTURE SCHEDULE								
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPS
	A	2'x4' LED GRID FIXTURE	LITHONIA	2TL4 46L FW A19 D50 LP840	.156 ACRYLIC LENS	GRID	120	4600 LUMENS, 40K LED
	AE	SAME AS FIXTURE "A" EXCEPT WITH BATTERY PACK	LITHONIA	2TL4 46L FW A19 D50 LP840 EL14L	.156 ACRYLIC LENS	GRID	120	4600 LUMENS, 40K LED
	AA	2'x4' FLOURESCENT GRID FIXTURE	LITHONIA	2SP8G 232 A12125 MVOLT	.125 ACRYLIC LENS	GRID	120	2 - F32T8/TL741/ALTO
	B	1'x4' LED GRID FIXTURE	LITHONIA	TL4 43L FW A19 D46 LP840	.156 ACRYLIC LENS	GRID	120	4300 LUMENS, 40K LED
	BE	SAME AS FIXTURE "B" EXCEPT WITH BATTERY PACK	LITHONIA	TL4 43L FW A19 D46 LP840 EL14L	.156 ACRYLIC LENS	GRID	120	4300 LUMENS, 40K LED
	C	6" DIAMETER LED DOWNLIGHT FIXTURE - 0-10V DIMMING	LITHONIA	DOM6 LED 600L 40K 120 D06 DIM	NONE	RECESSED	120	600 LUMENS, 40K LED
	DE	EXTERIOR ENTRY LED FIXTURE WITH BATTERY PACK	LITHONIA	VGR1C 50LED 41 120 DBLB PE BODINE EBP	POLYCARBONATE LENS	CEILING SURFACE	120	2500 LUMENS, 40K LED
	FE	12" SQUARE LED EMERGENCY FIXTURE WITH BATTERY PACK	LITHONIA	RT50LED 40K 120 ELR	ACRYLIC LENS	CEILING SURFACE	120	1700 LUMENS, 40K LED
	G	8" FLOURESCENT INDIRECT/DIRECT PENDANT FIXTURE	VISA	CP450B 2FS54 BA ABA	NONE	PENDANT	120	2 - F54T5HO/TL841/ALTO
	X	LED EXIT SIGN, WHITE THERMO-PLASTIC HOUSING, RED, BATTERY	LITHONIA	LQM S W 3 R 120/277 ELN	NONE	WALL OR CEILING	120	LED (INCLUDED)
	E	EXISTING LIGHT FIXTURES. CLEAN AND PROVIDE NEW LAMPS. REPLACE RUSTY DOOR FRAMES.						
	E	EXISTING 2'x4' FLOURESCENT TROFFER WITH YELLOWED LENS. PROVIDE NEW 125 PRISMATIC ACRYLIC LENS. PROVIDE ADDITIONAL 24 SPARE LENSES FOR FIXTURES TO BE IDENTIFIED AFTER RENOVATION.						

NOTE: LAMP DESCRIPTIONS ARE PHILIPS CATALOG NUMBERS (UNLESS NOTED OTHERWISE) OR APPROVED EQUAL.



1 PARTIAL POWER SINGLE LINE DIAGRAM
 E0.1 NOT TO SCALE

CONDUCTOR/CONDUIT SCHEDULE		
NO.	WIRE	CONDUIT
1	2#12, 1#12 GND.	3/4"
2	3#12, 1#12 GND.	3/4"
3	4#12, 1#12 GND.	3/4"
4	2#10, 1#10 GND.	3/4"
5	2#10, 1#10 GND.	3/4"
6	4#10, 1#10 GND.	3/4"
7	2#8, 1#10 GND.	3/4"
8	2#8, 1#10 GND.	2"
9	4#8, 1#10 GND.	1"
10	3#6, 1#8 GND.	1"
11	3#6, 1#8 GND.	1-1/4"
12	3#4, 1#8 GND.	1-1/4"
13	4#4, 1#8 GND.	1-1/4"
14	3#3, 1#8 GND.	1-1/4"
15	4#3, 1#8 GND.	1-1/2"
16	3#2, 1#8 GND.	1-1/2"
17	4#2, 1#8 GND.	1-1/2"
18	3#1, 1#8 GND.	1-1/2"
19	4#1, 1#8 GND.	2"
20	4#1/0, 1#8 GND.	2"
21	4#1/0, 1#8 GND.	2"
22	3#2/0, 1#8 GND.	2"
23	4#2/0, 1#8 GND.	2"
24	3#3/0, 1#8 GND.	2"
25	4#3/0, 1#8 GND.	2-1/2"
26	4#4/0, 1#4 GND.	2-1/2"
27	4#4/0, 1#4 GND.	2-1/2"
28	3-250KCMIL, 1#4 GND.	3"
29	4-250KCMIL, 1#4 GND.	3"
30	3-350KCMIL, 1#3 GND.	3"
31	4-350KCMIL, 1#3 GND.	3"
32	3-500KCMIL, 1#3 GND.	3"
33	4-500KCMIL, 1#3 GND.	4"
34	3-600KCMIL, 1#2 GND.	3-1/2"
35	4-600KCMIL, 1#2 GND.	4"
36	3-750KCMIL, 1#2 GND.	4"
37	4-750KCMIL, 1#2 GND.	5"

ALL OTHER CIRCUITS SHALL BE 2#12, 1#12 GND., 3/4", UNLESS NOTED.

120/208V, 3 PH., 4W, 60 HZ 100 AMP M.L.O. SURFACE MOUNTED 10,000 A.I.C. SYM. (MINIMUM)		EXISTING PANEL "P-C"	
LOADS SERVED	BKR. LOAD CKT. (S / N)	LOAD (KVA)	LOAD (AMP)
EXISTING LOAD	20 • 1	2	20
EXISTING LOAD	20 • 3	4	20
EXISTING LOAD	20 • 5	8	20
RECPS - BABY 014	20 0.4 7	8	20
RECPS - WORKROOM 010	20 0.6 9	10	20
RECPS - ROOMS 010/009	20 0.4 11	12	20
RECPS - ROOMS 016/021/EF-1	20 1.0 13	14	20
TV - MEETING 007	20 0.4 15	16	20
EXISTING LOAD	20 • 17	18	20
EXISTING LOAD	20 • 19	20	20
EXISTING LOAD	20 • 21	22	20
RECPS - TESTING 015/018	20 0.4 23	24	20
RECPS - TESTING 019/020	20 0.8 25	26	20
RECPS - CONTROL RM 017	20 0.6 27	28	20
RECPS - ROOMS 022/023	20 0.6 29	30	20
RECPS - HALL H003/H002	20 0.6 31	32	20
EXISTING LOAD	20 • 33	34	20
EXISTING LOAD	20 • 35	36	20
EXISTING LOAD	20 • 37	38	20
EXISTING LOAD	20 • 39	40	20
EXISTING LOAD	20 • 41	42	20

APPROX. TOTAL LOADS (KVA) 20.0

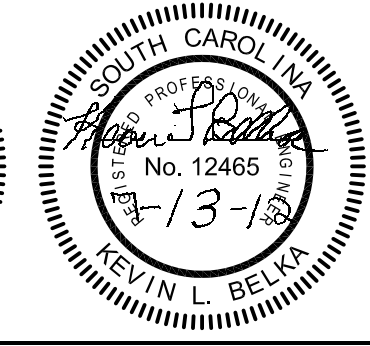
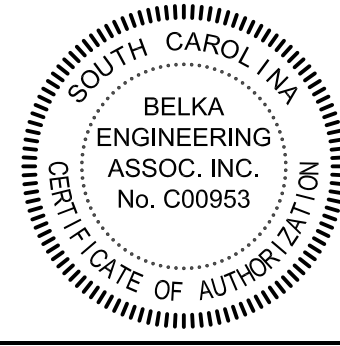
* DENOTES EXISTING LOAD

120/208V, 3 PH., 4W, 60 HZ 100 AMP M.B. SURFACE MOUNTED 10,000 A.I.C. SYM. (MINIMUM)		NEW PANEL "P-A2"	
LOADS SERVED	BKR. LOAD CKT. (S / N)	LOAD (KVA)	LOAD (AMP)
RECPS - DATA ANALYSIS 123	20 1.0 1	2	20
RECPS - DATA ANALYSIS 123	20 1.0 3	4	20
RECPS - DATA ANALYSIS 123	20 1.0 5	6	20
RECPS - DATA ANALYSIS 123	20 1.0 7	8	20
TV/FOODILM - MEETING 125	20 0.8 9	10	20
TV - MEETING 128	20 0.6 11	12	20
RECPS - OFFICES 131/132	20 0.4 13	14	20
RECPS - OFFICES 132/133	20 0.4 15	16	20
TV - MEETING 108	20 0.4 17	18	20
TV - MEETING 103	20 0.4 19	20	20
TV - MEETING 101	20 0.4 21	22	20
TV - HALLWAY H101	20 0.4 23	24	20
RECPS - OFFICE 140	20 0.2 25	26	20
RECPS - 123/125/125A	20 0.6 27	28	20
RECPS - OFFICE 119	20 0.2 29	30	20
SPARE	20 - 31	32	20
SPARE	20 - 33	34	20
SPARE	20 - 35	36	20
SPARE	20 - 37	38	20
SPARE	20 - 39	40	20
SPARE	20 - 41	42	20

CONNECTED LOADS (KVA)
 04 3.0 08 3.2 02 2.6

TOTAL LOADS (KVA)
8.8

ELECTRICAL DRAWING INDEX	
E0.1	ELECTRICAL SYMBOL LEGEND & SCHEDULES
E1.1	LIGHTING DEMOLITION PLANS
E1.2	POWER/SYSTEMS DEMOLITION PLANS
E2.1	LIGHTING RENOVATION PLANS
E2.2	POWER RENOVATION PLANS
E2.3	SYSTEMS RENOVATION PLANS
E3.1	SYSTEMS SINGLE LINE DIAGRAM



BEA BELKA ENGINEERING ASSOCIATES, INC.
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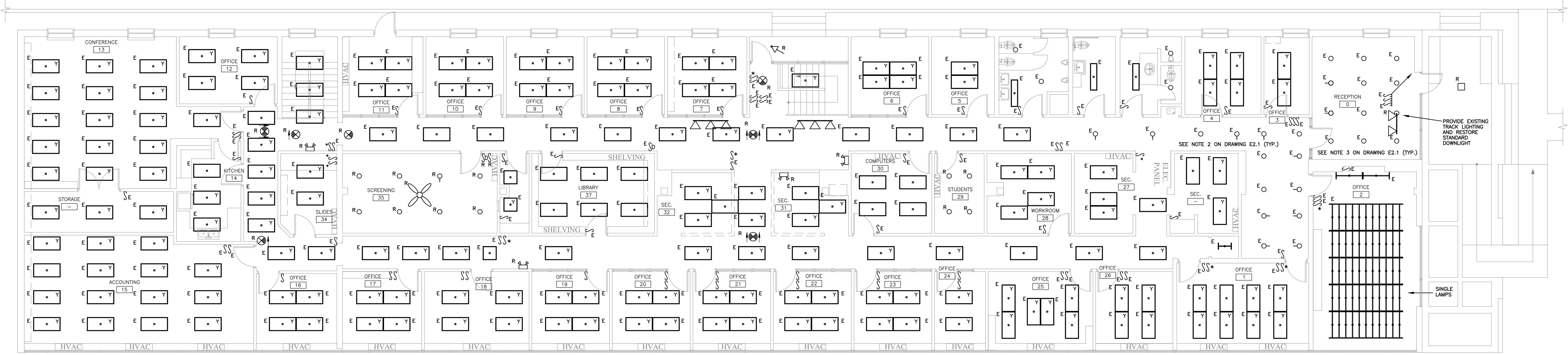
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ELECTRICAL SYMBOL LEGEND & SCHEDULES
 Date: 07-13-12
 Drawn: CES
 Checked: KLB
E0.1

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 803.765.0838 compasspartners.com

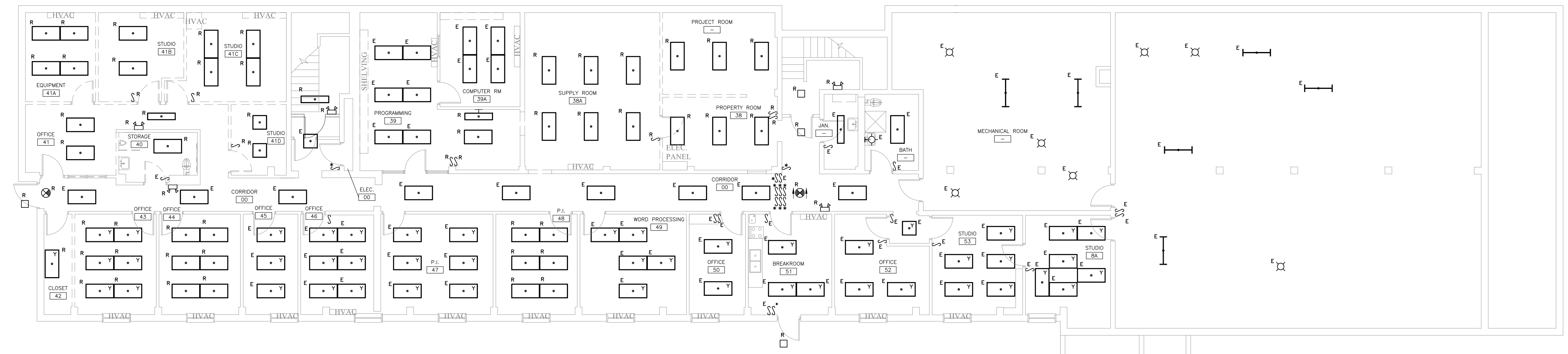
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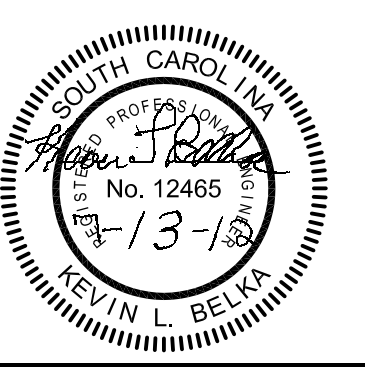
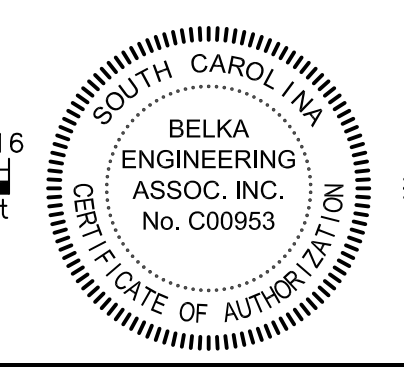
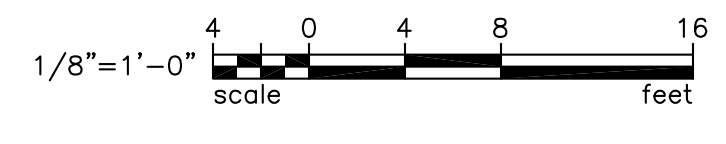
- LIGHTING DEMOLITION PLAN
1. REMOVE EXISTING LIGHTING FIXTURES AS DENOTED WITH THE LETTER "R" AND REMOVE THEM FROM THIS SITE. EXISTING LIGHTING CIRCUITS SHALL BE REUSED.
 2. LIGHTING FIXTURES DENOTED WITH THE LETTER "E" SHALL REMAIN IN PLACE. CLEAN AND RELAMP ALL EXISTING FIXTURES.
 3. PROVIDE REPLACEMENT .125" PRISMATIC ACRYLIC LENS FOR FIXTURES WITH YELLOW LENS (DENOTED WITH THE LETTER "Y" INSIDE THE FIXTURE). PROVIDE AN ADDITIONAL 24 LENSES FOR OWNER DIRECTED REPLACEMENT AFTER RENOVATION.
 4. EXISTING LOW VOLTAGE LIGHTING SWITCHES SHALL REMAIN AS MUCH AS POSSIBLE. REPLACE ALL NON-FUNCTIONING SWITCHES (DENOTED WITH AN ASTERISK *) AND MISSING BUTTONS OR PLATES.



2 FIRST FLOOR LIGHTING DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



1 BASEMENT FLOOR LIGHTING DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



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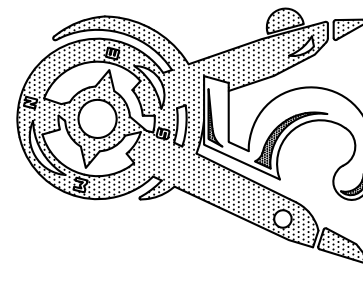
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LIGHTING DEMOLITION PLANS

Date: 07-13-12
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E1.1



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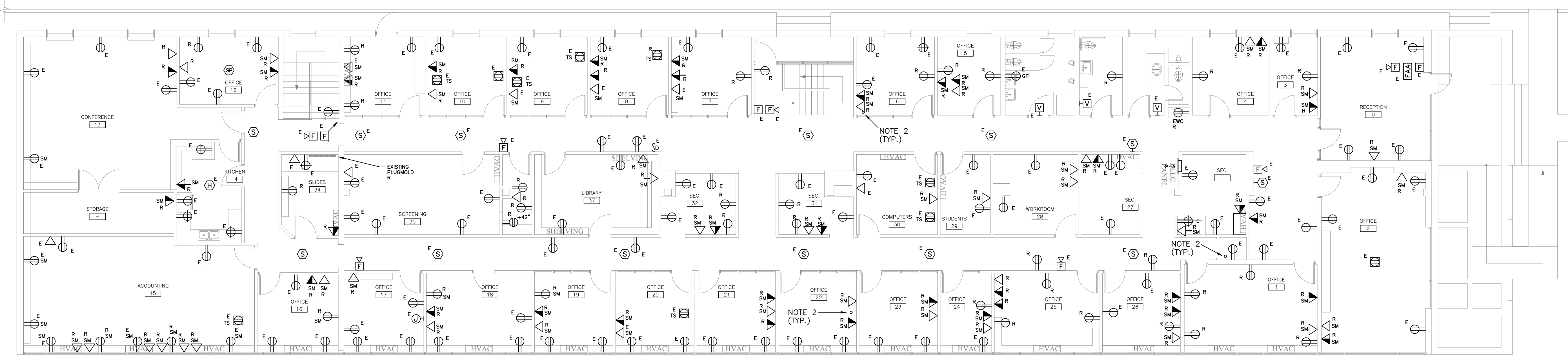
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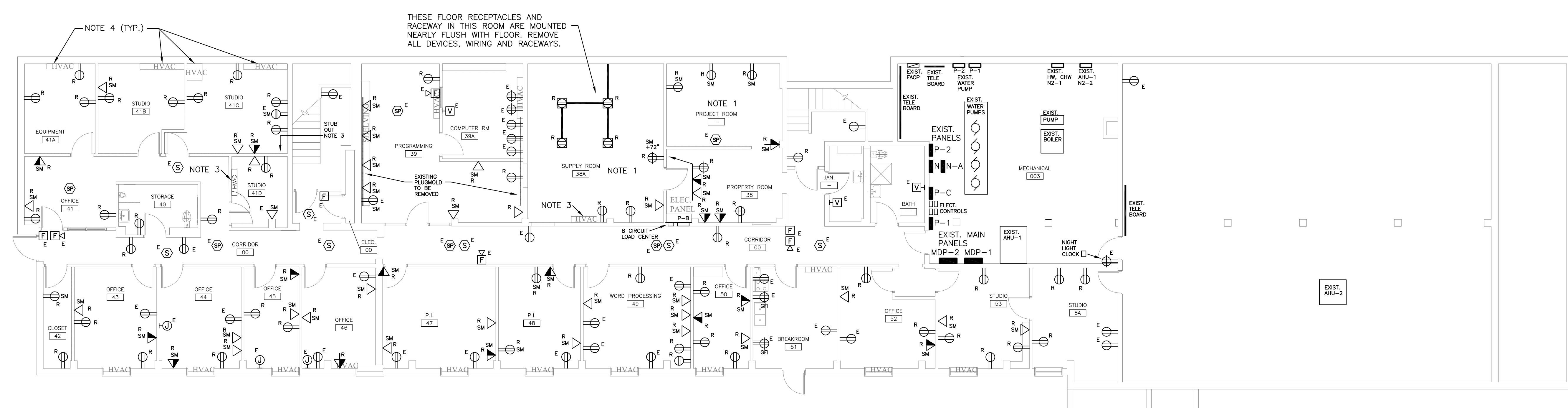
Project Number: H27-2008-B
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 FOR BIDDING 07/13/12

POWER/SYSTEMS
 DEMOLITION PLANS
 Date: 07-13-12
 Drawn: CES
 Checked: KLB
E1.2

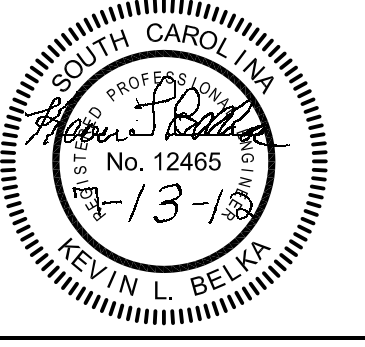
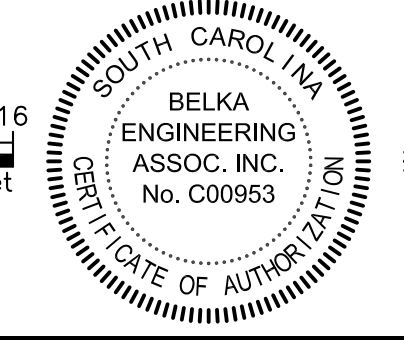
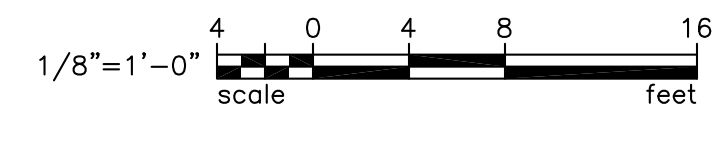
- POWER/SYSTEMS DEMOLITION PLAN
1. REMOVE ALL SURFACE MOUNTED RACEWAYS, WIRING AND RECEPTACLES FROM THIS ROOM.
 2. REMOVE ALL CONDUCTORS/CONDUITS FROM EVERY PUNCH THROUGH/STUB UP ON THE FIRST FLOOR. HOLES SHALL BE FILLED WITH FIRE RATED MATERIAL TO PROVIDE FIRE RATING BETWEEN BASEMENT AND FIRST FLOOR.
 3. DISCONNECT CIRCUIT FROM EXISTING HVAC EQUIPMENT AND MAKE BREAKER AVAILABLE AS SPARE. COORDINATE WITH MECHANICAL CONTRACTOR.



2 FIRST FLOOR POWER/SYSTEMS DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

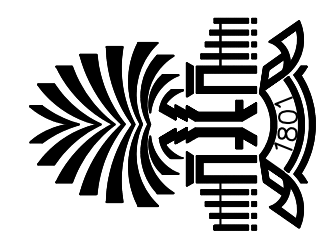
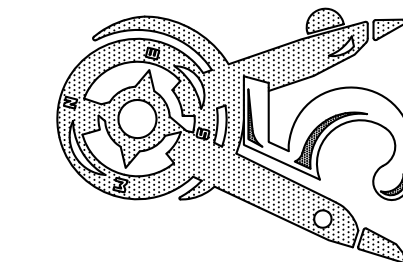


1 BASEMENT FLOOR POWER/SYSTEMS DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



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US21202

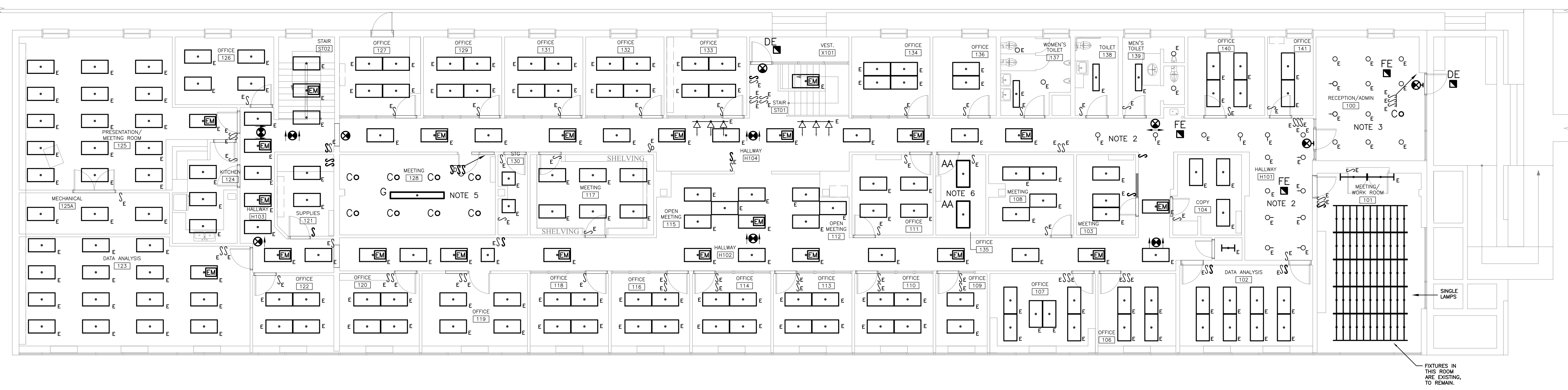


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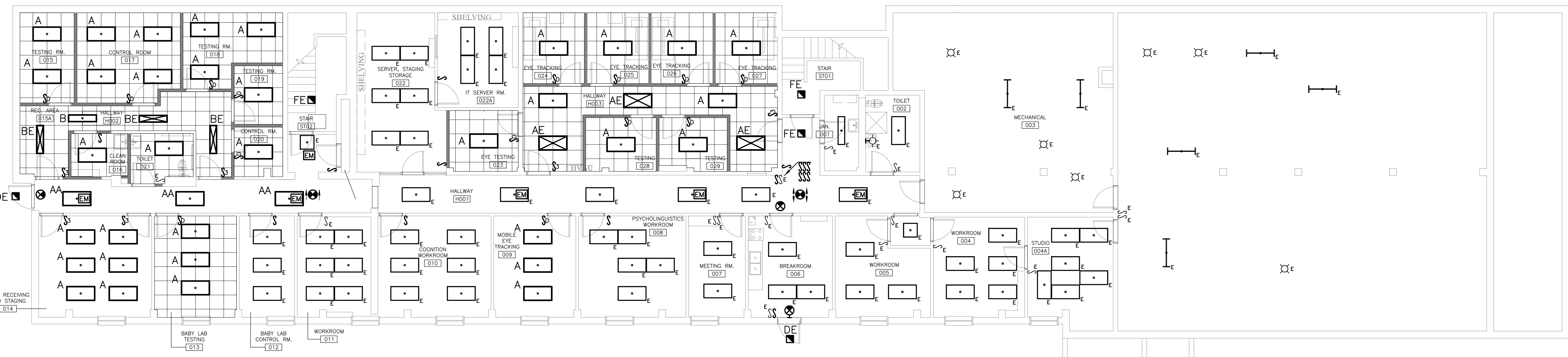
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LIGHTING RENOVATION PLANS	
Date:	07-13-12
Drawn:	CES
Checked:	KL8
E2.1	

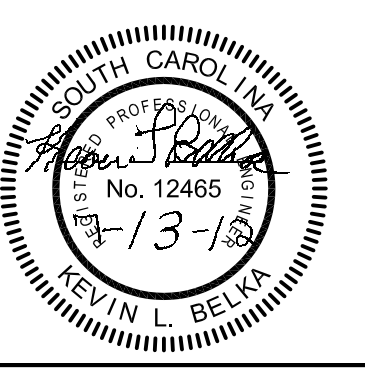
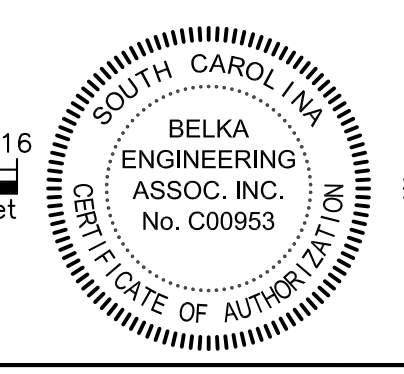
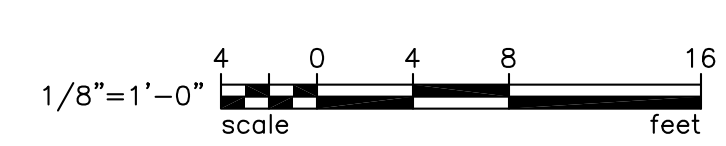
- LIGHTING RENOVATION NOTES
1. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS DURING RENOVATION. CLEAN AND RELAMP ALL FIXTURES UNLESS INDICATED OTHERWISE. REPLACE DAMAGED OR RUSTED FLUORESCENT TROFFERS. REPLACE YELLOWED/DAMAGED LENSES.
 2. RELAMP ALL DOWNLIGHT FIXTURES IN THIS AREA WITH L.E.D. BULBS (ACCULAMP# ALSP30 300L 25 40K OR APPROVED EQUAL).
 3. RELAMP ALL DOWNLIGHT FIXTURES IN THIS AREA WITH L.E.D. BULBS (ACCULAMP# ALSP20 400L 45 40K OR APPROVED EQUAL).
 4. PROVIDE EMERGENCY BATTERY PACK (BODINE #B50 OR APPROVED EQUAL). EMERGENCY BATTERY PACK FIXTURES DENOTED WITH SYMBOL.
 5. IN MEETING 12B, PROVIDE NEW DIRECT/INDIRECT FLUORESCENT FIXTURE IN PLACE OF EXISTING CEILING AND NEW DOWNLIGHTS AS INDICATED. REUSE EXISTING CIRCUIT AND PROVIDE NEW MULTI-LEVEL SWITCHING FOR PENDANT AND DIMMER SWITCH (0-10V) FOR DOWNLIGHTS.
 6. IN VISITOR OFFICE 135, PROVIDE NEW 2'x4' GRID FIXTURES IN PLACE OF EXISTING DOWNLIGHTS. REUSE EXISTING CIRCUIT AND PROVIDE NEW MULTI-LEVEL SWITCHING.
 7. CLEAN AND RELAMP ALL EXISTING FIXTURES TO REMAIN. ALL FIXTURES SHALL HAVE UNDAMAGED CLEAR LENSING. REPLACE ANY DAMAGED FIXTURES.
 8. ALL NEW SWITCHES/RECEPTACLES AND ASSOCIATED DEVICE PLATES SHALL HAVE IVORY COLORED FINISH. PLATES SHALL BE UNBREAKABLE TYPE.



2 FIRST FLOOR LIGHTING RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

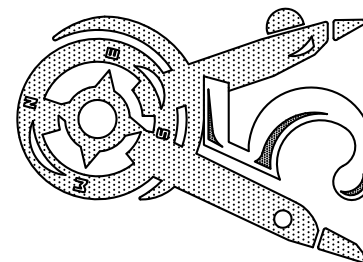


1 BASEMENT LIGHTING RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

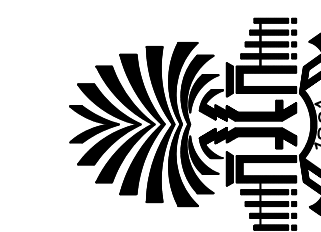


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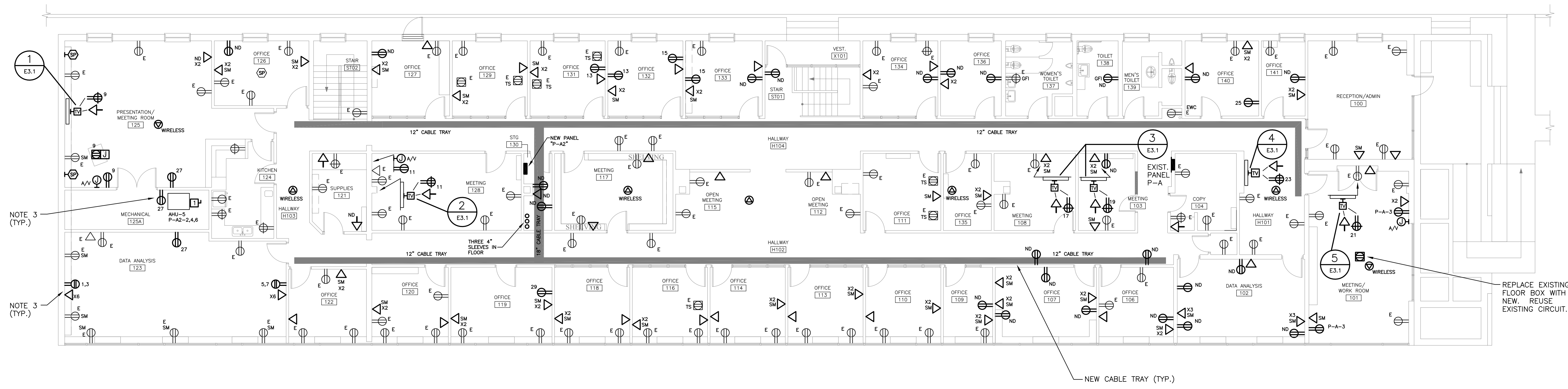
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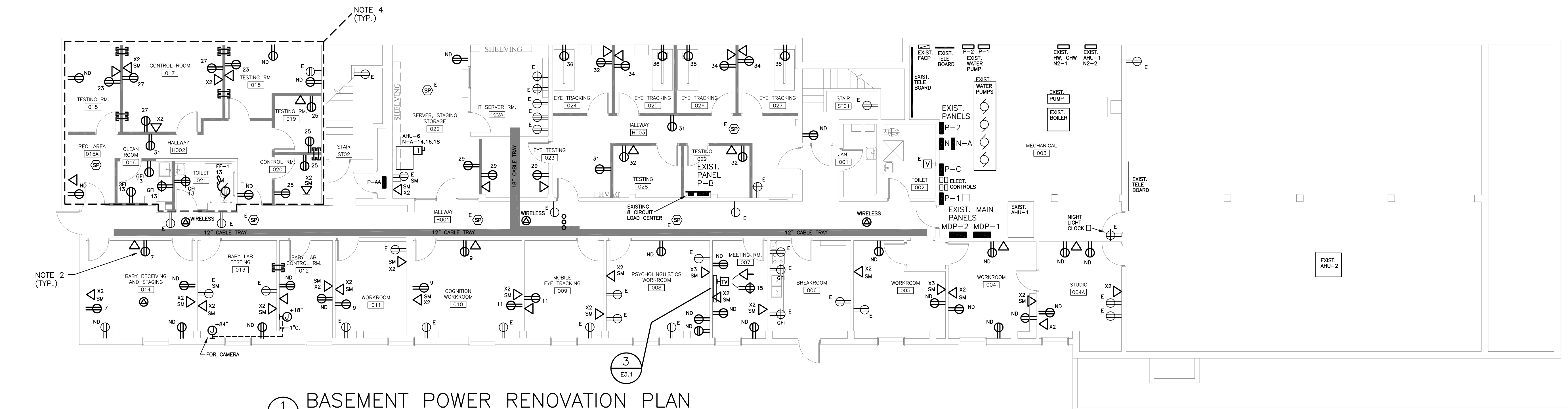
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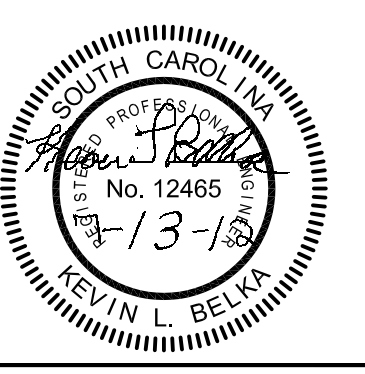
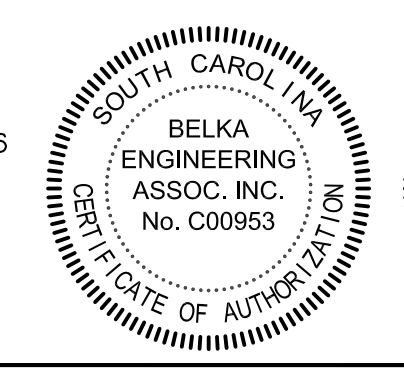
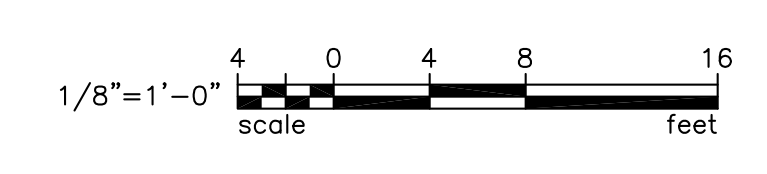
- POWER/SYSTEMS RENOVATION NOTES
1. ALL EXISTING RECEPTACLES TO BE REPLACED WITH NEW DEVICES (DENOTED WITH "ND") SHALL BE FED USING EXISTING CIRCUITS AND CONDUCTORS. MAINTAIN INTEGRITY OF CIRCUITS.
 2. ALL NEW RECEPTACLE LOCATIONS ON BASEMENT LEVEL SHALL BE FED FROM EXISTING PANEL "P-C" UNLESS NOTED OTHERWISE. PROVIDE NEW 20 AMP CIRCUIT BREAKERS AS NEEDED. CONTRACTOR SHALL FIELD VERIFY ALL CIRCUITS PRIOR TO RENOVATION.
 3. ALL NEW RECEPTACLE LOCATIONS ON FIRST FLOOR SHALL BE FED FROM PANEL "P-A2" UNLESS NOTED OTHERWISE.
 4. PROVIDE BONDING CONNECTION TO THE 4 CORNERS OF THE GRID SHIELD AND CONNECT TO GROUND BUS OF EXISTING MAIN PANEL "MDP-1." AT EACH CORNER, PROVIDE TWO 4"x4" PLATES WITH MINIMUM OF 3 THRU-BOLTS TO SANDWICH WIRE MESH BETWEEN PLATES. PROVIDE CABLE LUG ON ONE OF THE THRU-BOLTS AND CONNECT 1#4 CONDUCTOR DAISY-CHAINED TO EACH CORNER AND BACK TO MAIN PANEL. SEE ARCHITECTURAL DRAWINGS FOR DETAIL OF GRID SHIELD.



2 FIRST FLOOR POWER RENOVATION PLAN
 SCALE: 1/8" = 1'-0"



1 BASEMENT POWER RENOVATION PLAN
 SCALE: 1/8" = 1'-0"



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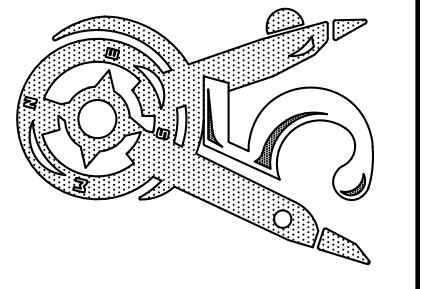
Project Number: H27-2008-B

REVISIONS	
△	FOR BIDDING 07/13/12

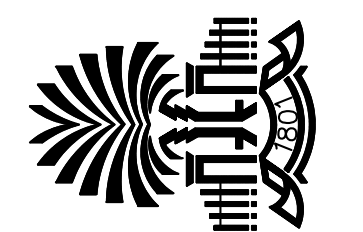
POWER RENOVATION PLANS

Date: 07-13-12
 Drawn: CES
 Checked: KLB

E2.2



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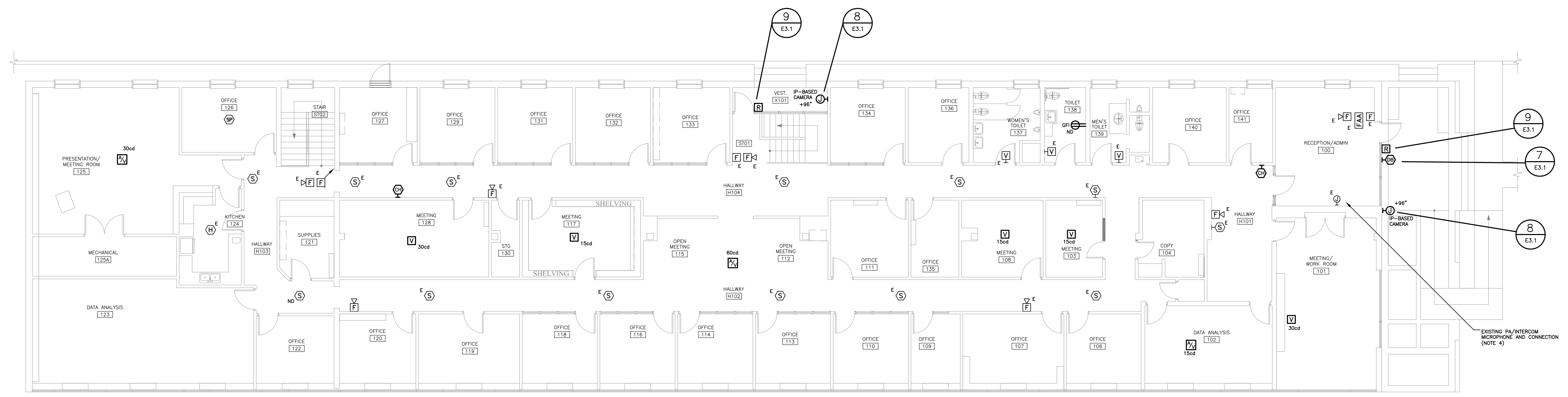


Project Number: H27-2008-B

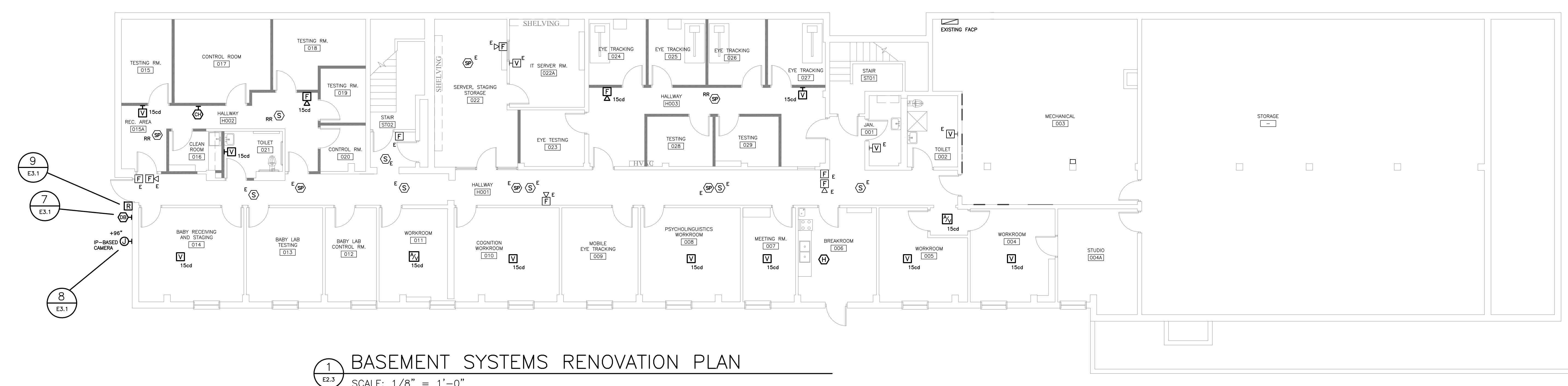
REVISIONS	
△	FOR BIDDING 07/13/12

SYSTEMS RENOVATION PLANS	
Date:	07-13-12
Drawn:	CES
Checked:	KL8
E2.3	

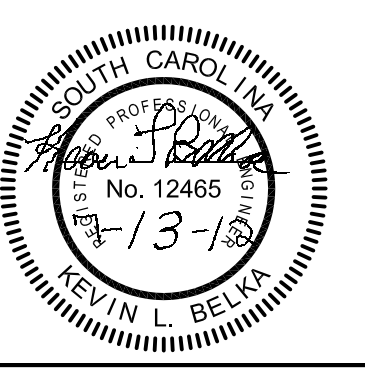
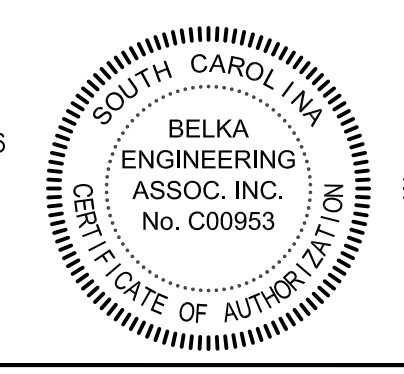
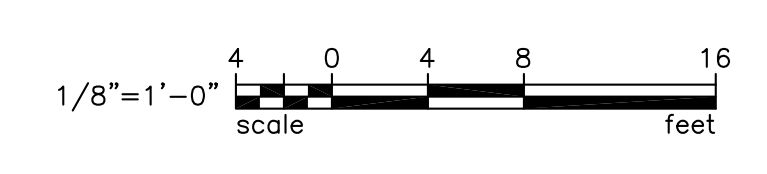
- SYSTEMS RENOVATION NOTES
- EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING THIS RENOVATION. BAG SMOKE DETECTORS AND PROTECT DEVICES AS REQUIRED. REPLACE ANY DAMAGED DEVICES.
 - ADD NEW INDICATING DEVICES AS SHOWN AND PROVIDE ANY ADDITIONAL POWER SUPPLIES AND CONTROL MODULES/CARDS TO MAKE OPERATIONAL. THE EXISTING SYSTEM IS A SIMPLEX.
 - LOWER PULL STATION TO 48" TO TOP OF BOX TO MAKE ADA-COMPLIANT. (TYPICAL OF 6 LOCATIONS).
 - EXISTING PA SYSTEM SHALL REMAIN OPERATIONAL. PROTECT DURING CONSTRUCTION AND REPLACE ANY DAMAGED COMPONENTS. ALL EXISTING SPEAKERS SHALL REMAIN. REMOVE AND RE-INSTALL IN NEW CEILING AS REQUIRED.



2 FIRST FLOOR SYSTEMS RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

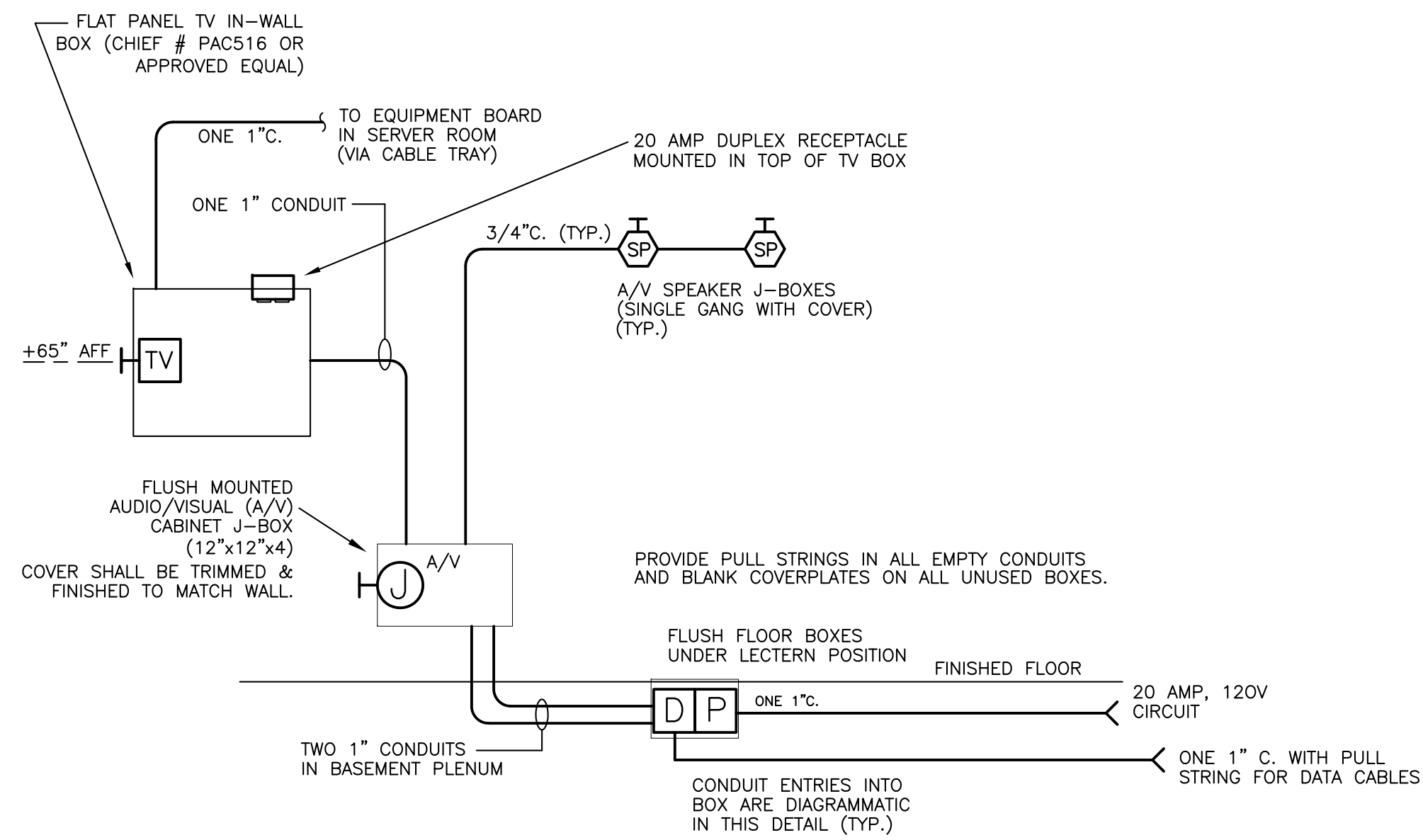


1 BASEMENT SYSTEMS RENOVATION PLAN
 SCALE: 1/8" = 1'-0"



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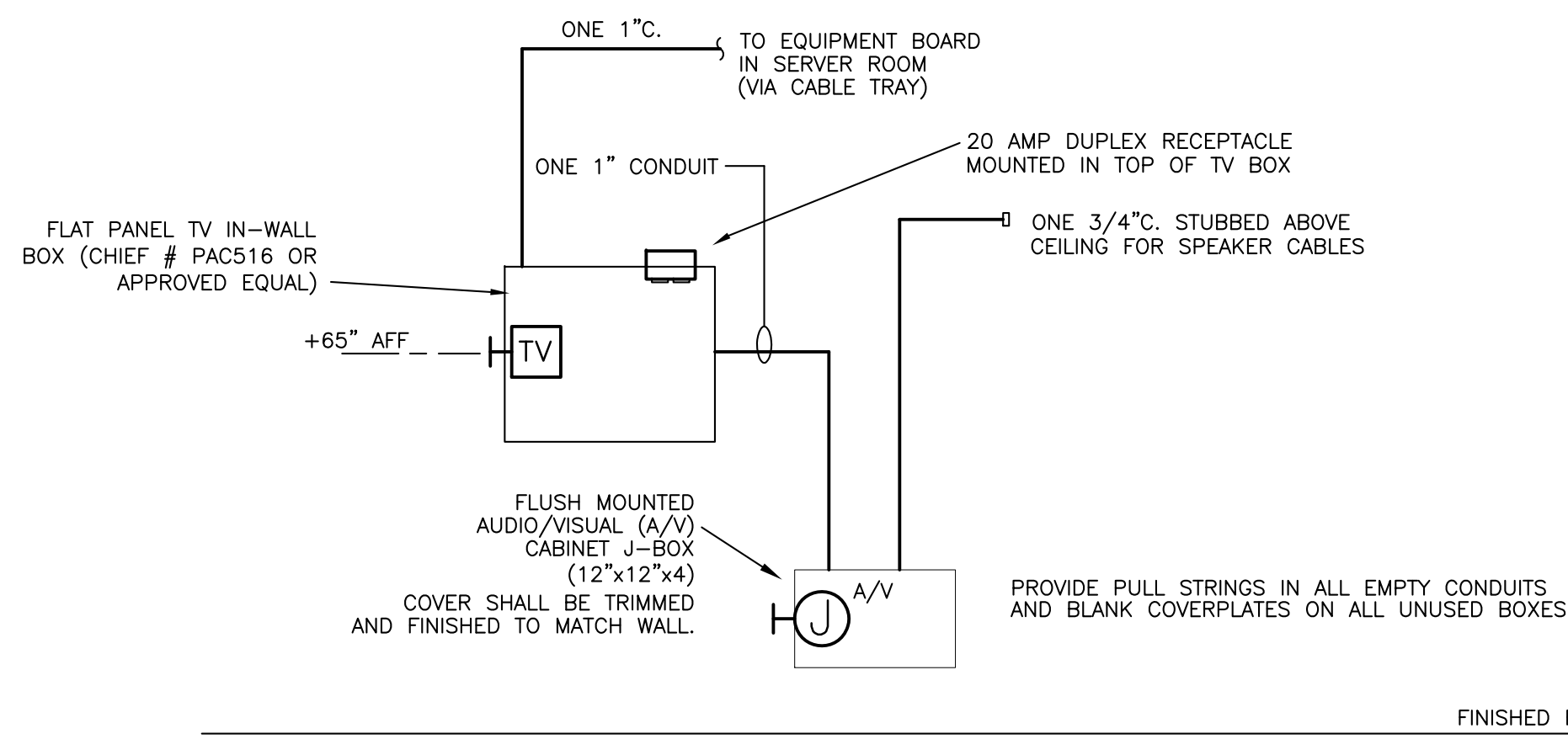
US21202



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CAT-6 DATA AND A/V CABLES SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

1 PRESENTATION/MEETING ROOM 125 AUDIO/VISUAL CONDUIT DIAGRAM

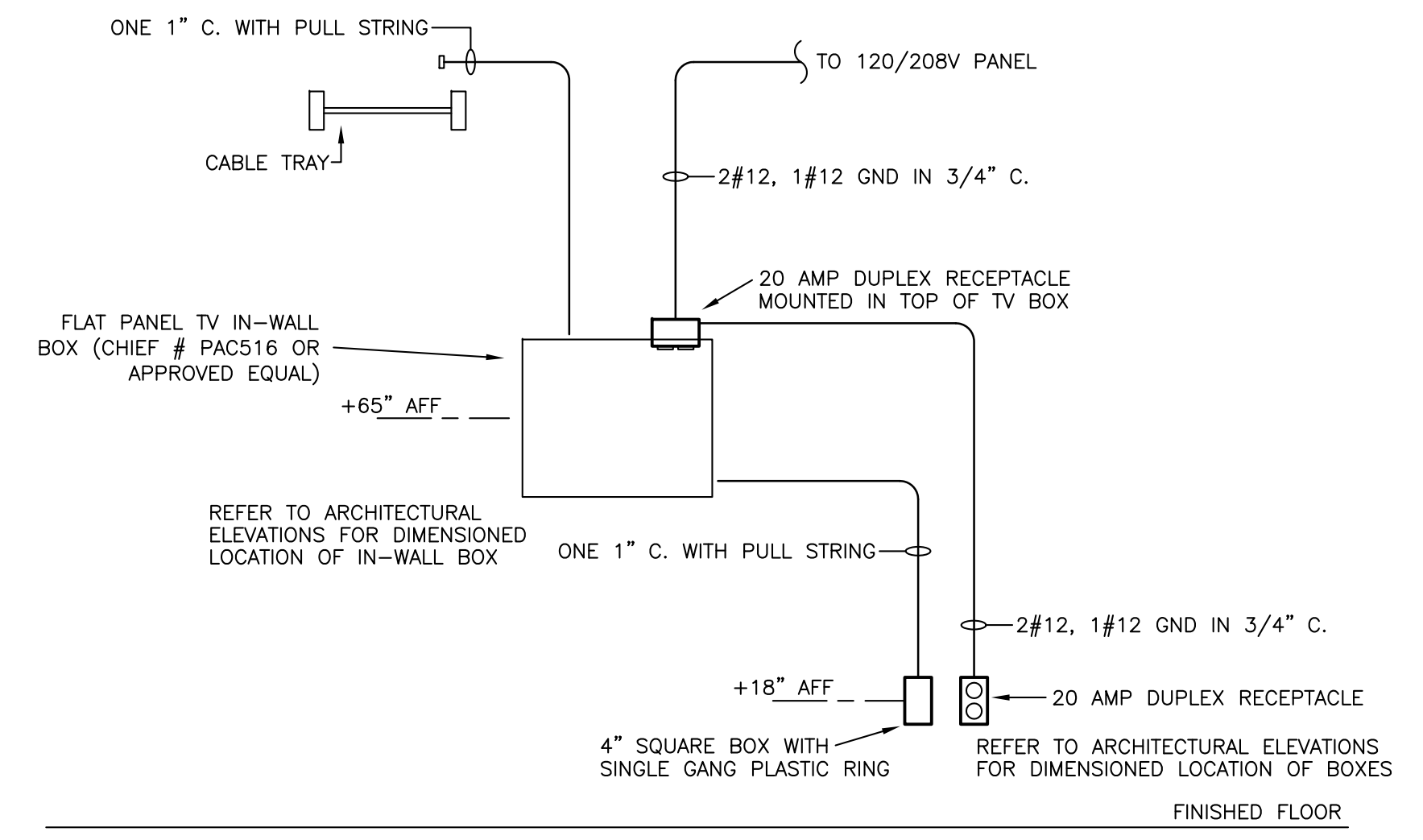
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CAT-6 DATA AND A/V CABLES SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

2 MEETING ROOM 128 AUDIO/VISUAL CONDUIT DIAGRAM

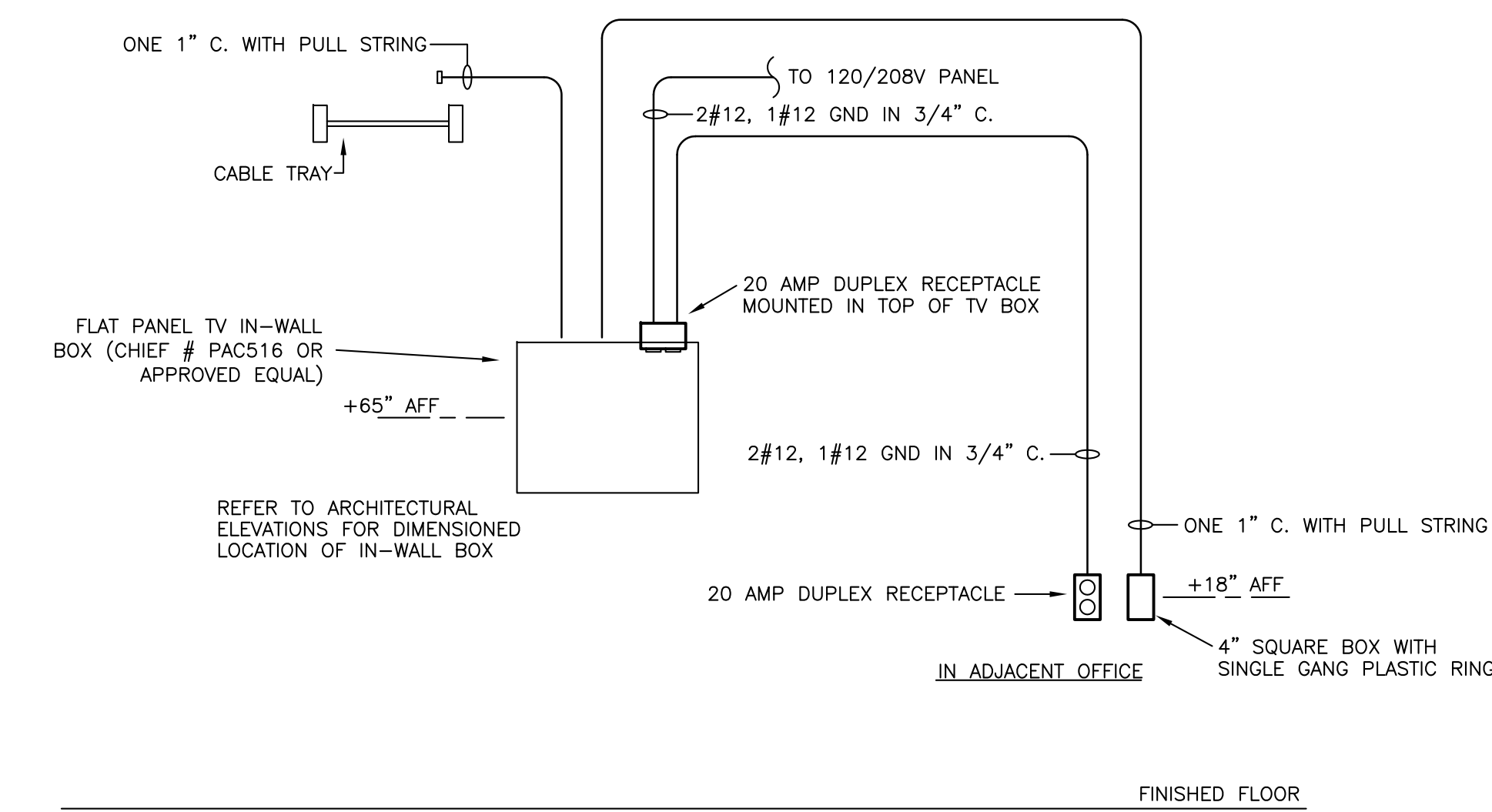
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CAT-6 DATA AND A/V CABLES SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

3 MEETING ROOM 007, 103, & 108 AUDIO/VISUAL CONDUIT DIAGRAM

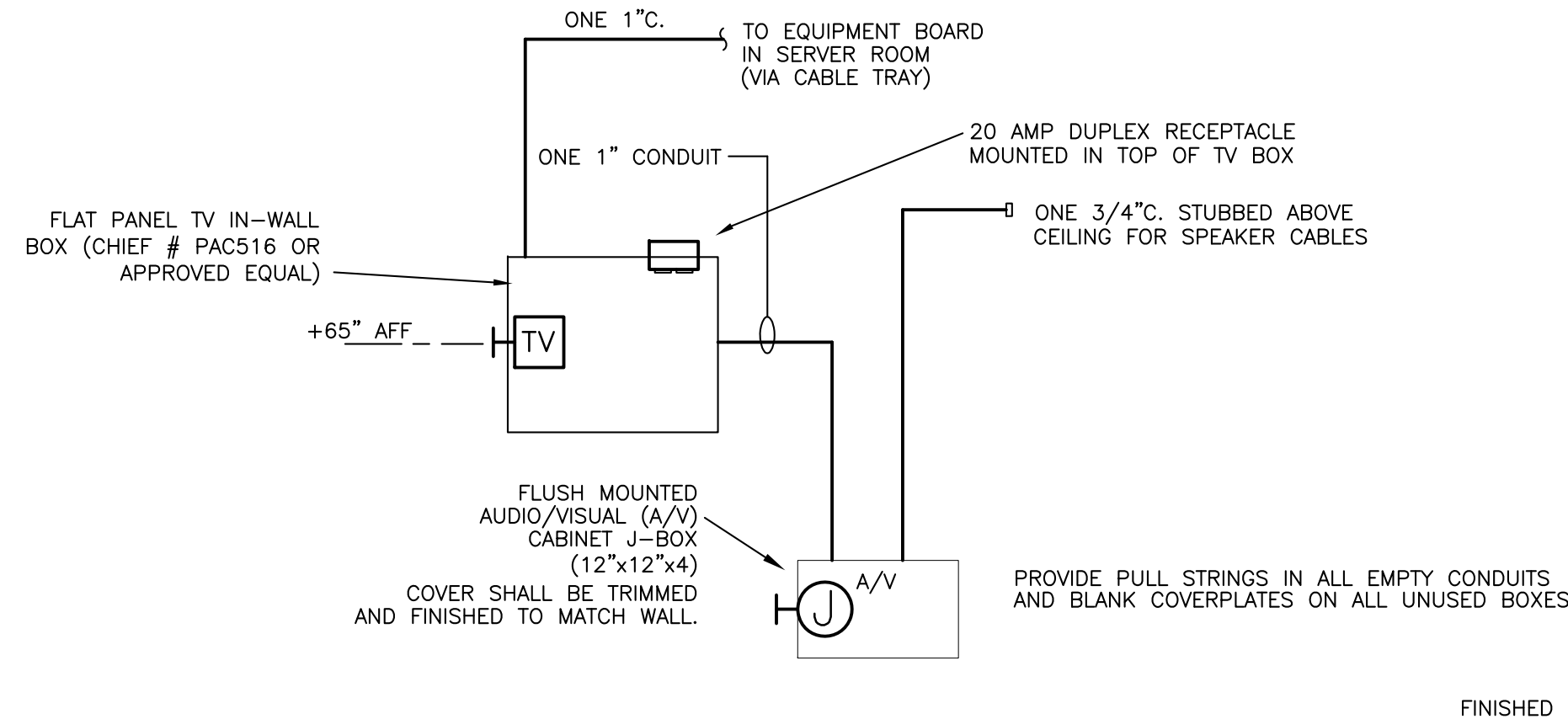
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CAT-6 DATA AND A/V CABLES SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

4 HALLWAY H101 AUDIO/VISUAL CONDUIT DIAGRAM

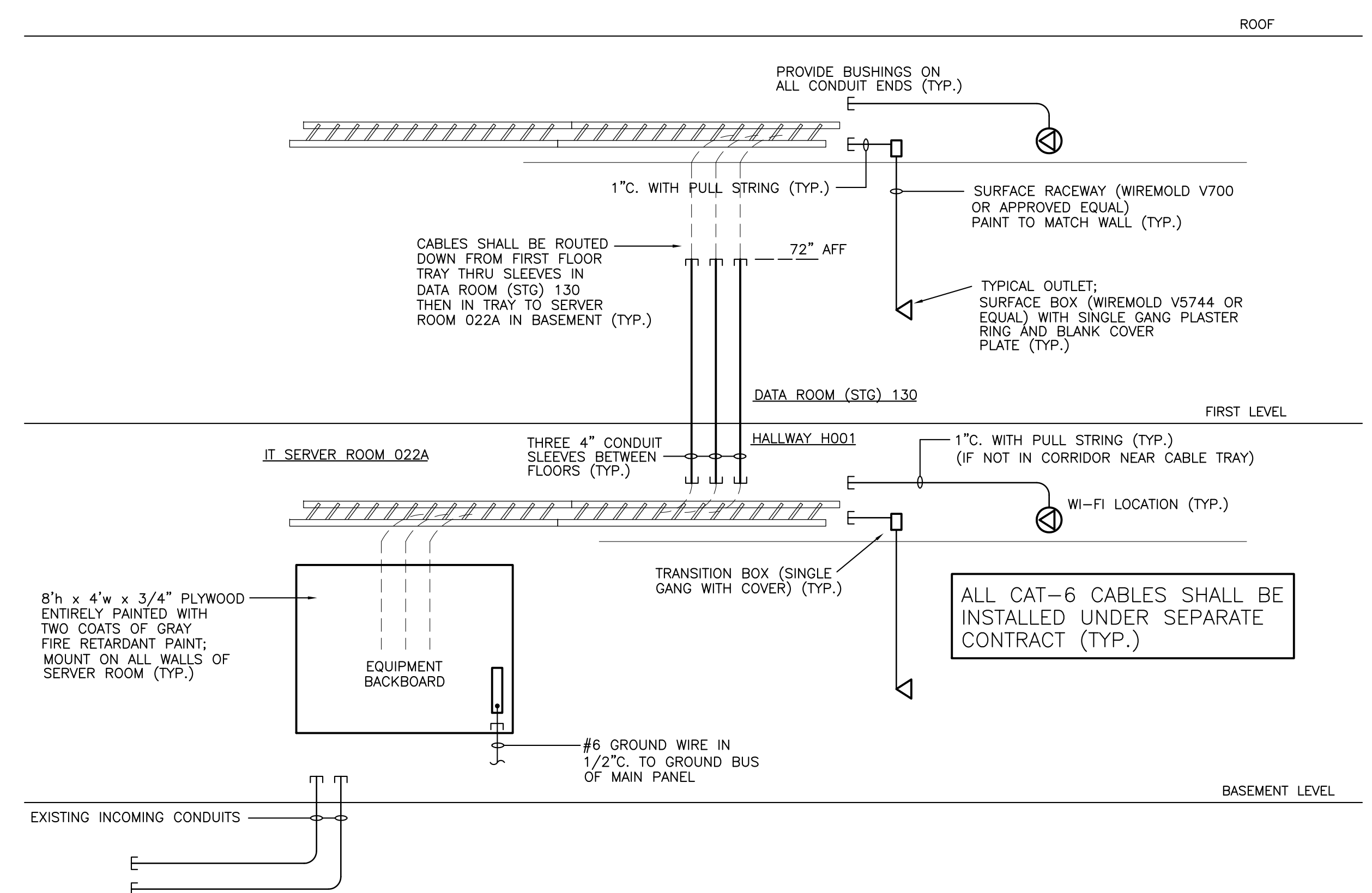
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CAT-6 DATA AND A/V CABLES SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

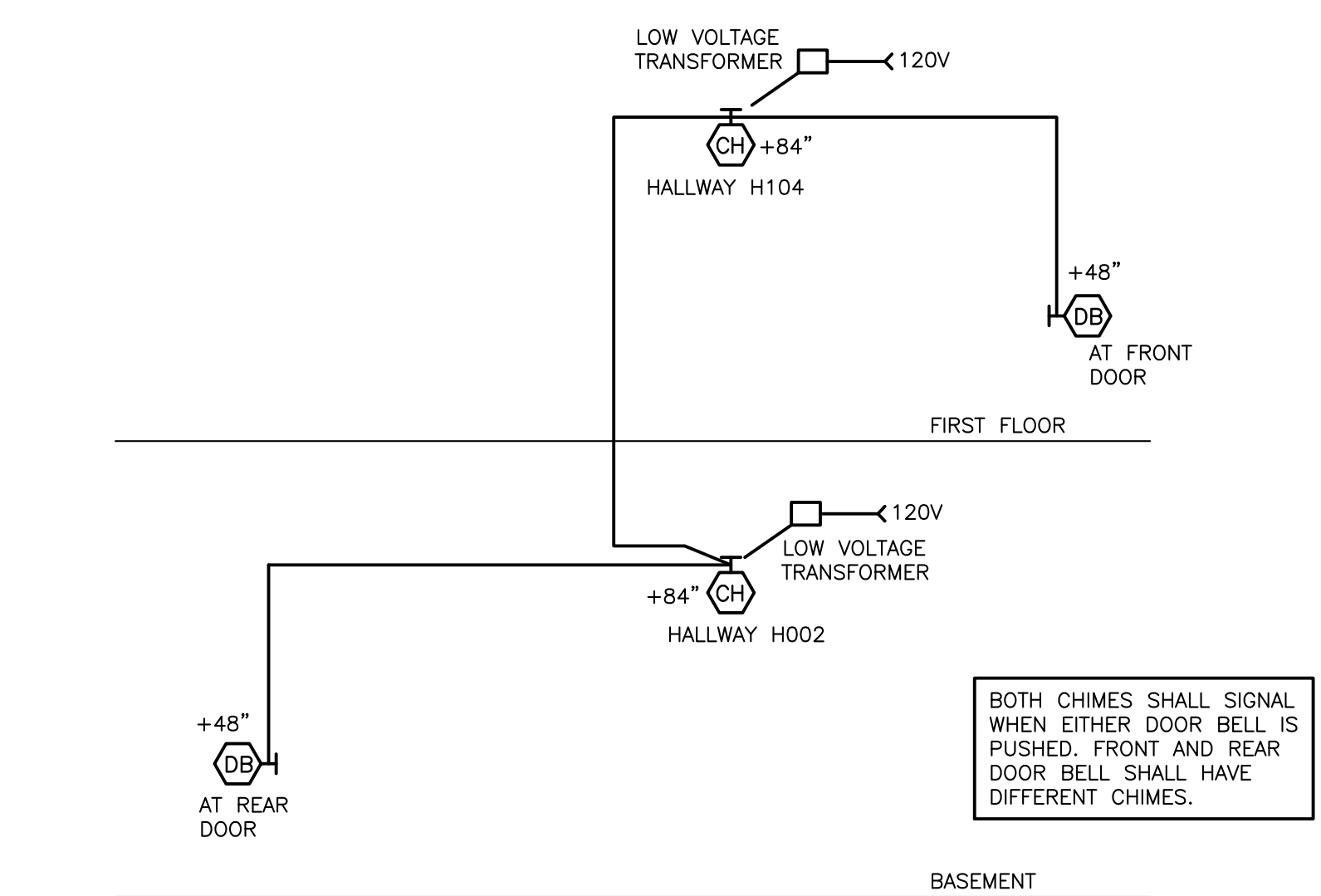
5 MEETING/WORK ROOM 101 AUDIO/VISUAL CONDUIT DIAGRAM

NOT TO SCALE



6 DATA CONDUIT SINGLE LINE DIAGRAM

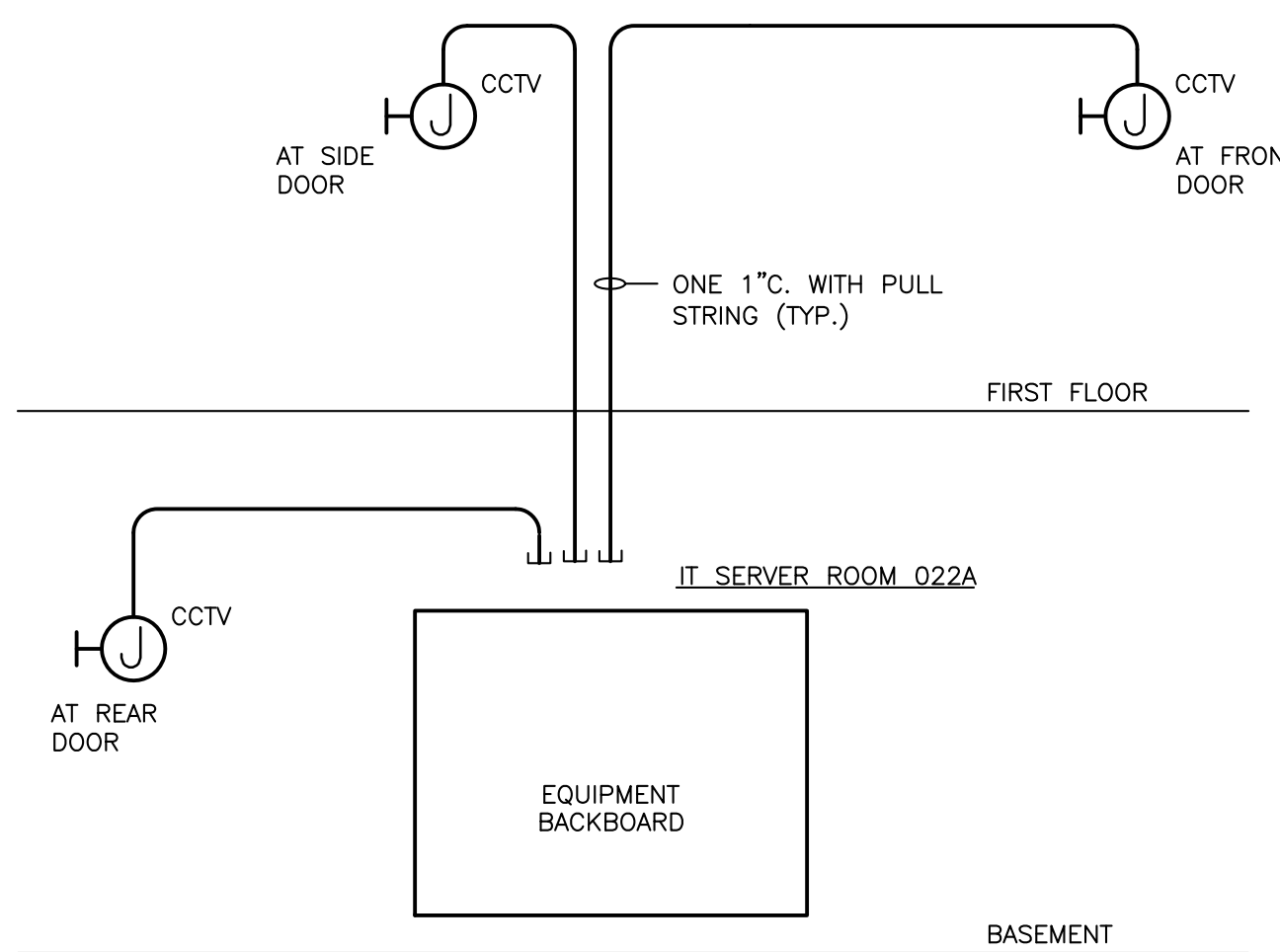
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE COMPLETE WORKING DOOR BELL SYSTEM INCLUDING COMPONENTS, WIRING, TRANSFORMERS, 120V POWER, CONDUITS, AND BOXES.

7 DOOR BELL SINGLE LINE DIAGRAM

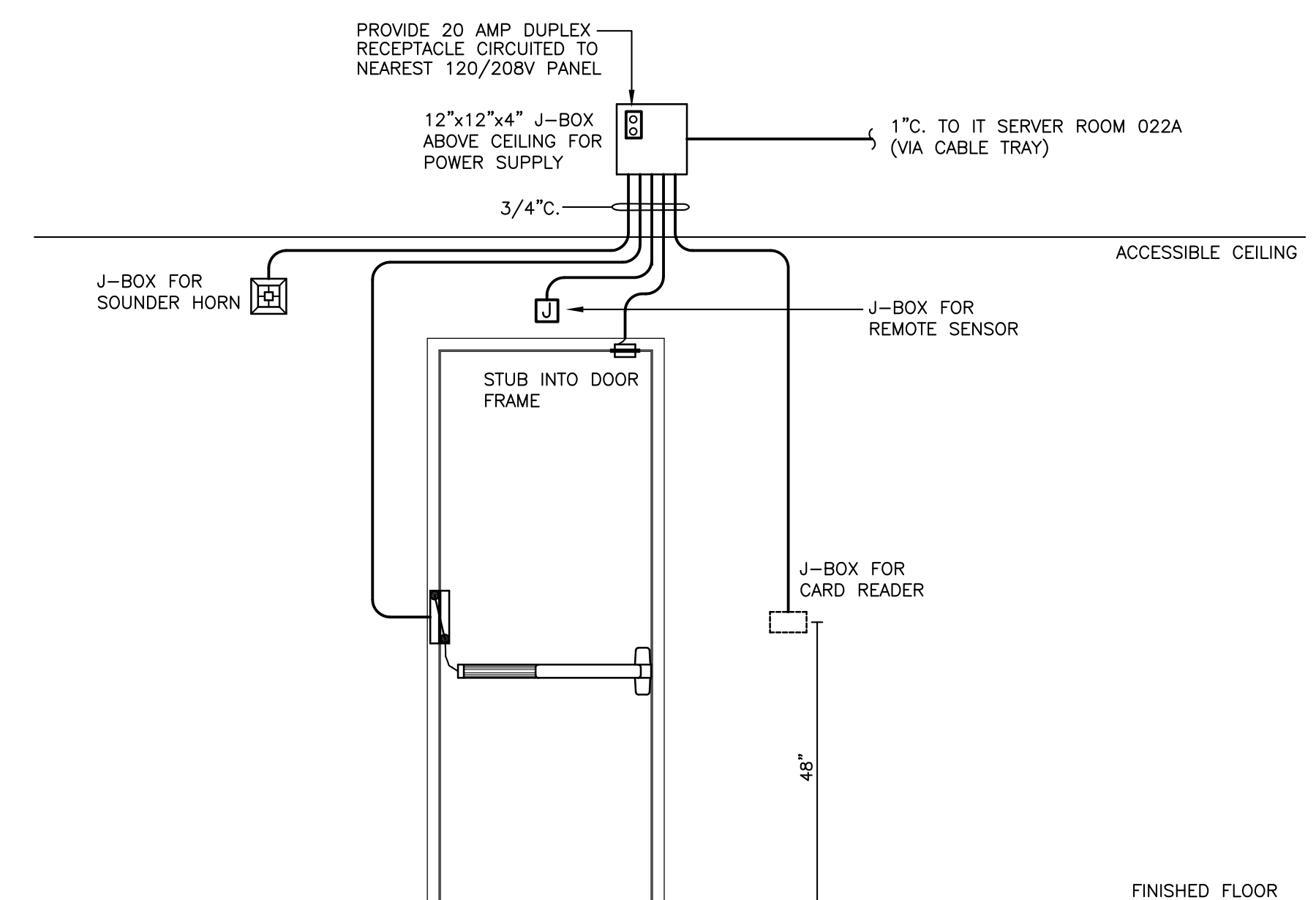
NOT TO SCALE



ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CABLES, CAMERAS, AND EQUIPMENT SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.

8 CCTV SYSTEM CONDUIT DIAGRAM

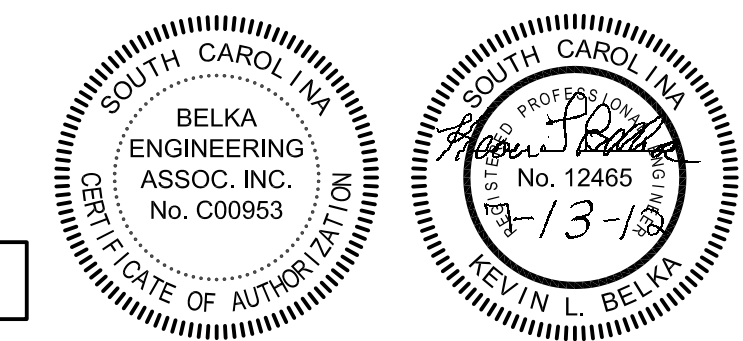
NOT TO SCALE



9 FRONT, SIDE, AND REAR DOORS ACCESS CONTROL CONDUIT DIAGRAM

NOT TO SCALE

ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS, BOXES, AND POWER AND INDICATED. CABLES AND HARDWARE SHALL BE INSTALLED UNDER SEPARATE CONTRACT BY OWNER.



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SYSTEMS SINGLE LINE DIAGRAMS

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